



AGENDA FOR REGULAR COUNCIL MEETING ON **THURSDAY, AUGUST 23, 2018**
6:00 P.M. ALTOONA CITY COUNCIL CHAMBERS

- I. Call Meeting to Order.
- II. Pledge of Allegiance.
- III. Roll Call for Council Persons.
Roll Call for Department Heads.
- IV. Citizens Participation Period. (No more than twenty minutes unless extended by two-thirds vote.)
- V. Discuss/consider approval of minutes of the August 9, 2018 Regular Council Meeting. [Minutes >>](#)
- VI. REPORTS
 - A. City Officers/Department Heads
 - B. City Committees
- VII. UNFINISHED BUSINESS
- VIII. NEW BUSINESS
 1. Public hearing at 6:10 p.m. or as soon thereafter as is possible to rezone parcel #201-1045-02-020 (N. Hillcrest Parkway) from C Commercial District to R-3 Multiple Family Dwelling District as submitted by Lee Haremza. (Discussed at the August 13, 2018 Plan Commission Meeting) [Summary >>](#) [Materials >>](#)
 2. Discuss/consider approval of Ordinance 8E-18, an ordinance rezoning parcel #201-1045-02-020 (N. Hillcrest Parkway) from C Commercial District to R-3 Multiple Family Dwelling District as submitted by Lee Haremza. [Summary >>](#) [Materials >>](#)
 3. Discuss/consider approval of a Specific Implementation Plan for Prevea Health in the SW Quadrant of River Prairie. (Discussed at the August 13, 2018 Plan Commission Meeting).
[Summary >>](#) [Materials >>](#)
 4. Public Hearing at 6:15 p.m. or as soon thereafter as is possible regarding a Certified Survey Map to combine Lots 4 and 5 of the SW Quadrant of River Prairie (parcels #201-1002-06-120 & #201-1002-06-130). [Summary >>](#) [Materials >>](#)
 5. Discuss/consider approval of a Certified Survey Map for Lots 4 and 5 of the SW Quadrant of River Prairie (parcels #201-1002-06-120 & #201-1002-06-130) (Discussed at the August 13, 2018 Plan Commission Meeting). [Summary >>](#) [Materials >>](#)
 6. Discuss/consider Intergovernmental Cooperative Agreement between the City of Altoona and Eau Claire County for the CTH KB-Bartlett Avenue Reconstruction-Phase 1 project.
[Summary >>](#) [Materials >>](#)


7. Discuss/consider approval of a Class “A” Retailers’ license to sell fermented malt beverages in the City of Altoona to the following applicant: [Summary >>](#) [Materials >>](#)

B & L Gray LLC
DBA. The Store & More
Bruce Gray, Agent
1032 Oak Drive, Suite B
Altoona, WI 54720

8. Discuss/consider approval of Bartender Licenses for the 2018-2019 Licensing period as submitted by Clerk Bauer. (List available upon request). Approved by the Altoona Police Department). [Summary >>](#) [No Materials](#)
9. Discuss/consider convening in closed session pursuant to Wis. Stats 19.85 (1)(e) deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. [Summary >>](#) [No Materials](#)
- A. Purchase and/or sale of property.
10. Motion to reconvene to Open Session for the purpose of discussion and possible consideration on the matter entertained in Closed Session. [Summary >>](#) [No Materials](#)
- A. Purchase and/or sale of property.

IX. MISCELLANEOUS BUSINESS AND COMMUNICATIONS:

X. ADJOURNMENT.


Cindy Bauer
City Clerk

Dated: 8/16/18

Requests from persons with disabilities who need assistance to participate in this meeting/hearing should be made to the City Clerk’s Office at 715-839-6092 with as much advance notice as possible.

Speak Your Peace: The Civility Project

The Common Council of the City of Altoona, Wisconsin, recognizes and has adopted by *Resolution 3B-15* that the nine tools of civility, drafted by *Speak Your Peace: The Civility Project* will provide increased opportunities for civil discourse in order to find positive resolutions to the issues that face our city. These tools include the following:

*Pay Attention | Listen | Be Inclusive | Don’t Gossip | Show Respect | Be Agreeable
Apologize | Give Constructive Criticism | Take Responsibility*

###

CITY OF ALTOONA, WI
REGULAR COUNCIL MEETING MINUTES
August 9, 2018

(I) Call Meeting to Order

Mayor Brendan Pratt called the meeting to order at 6:00 p.m. held in the Council Chambers at Altoona City Hall.

(II) Pledge of Allegiance

Mayor Pratt led the Common Council and others in attendance in the Pledge of Allegiance.

(III) Roll Call

City Clerk Cindy Bauer called the roll. Mayor Brendan Pratt, Council Members Red Hanks, Andrew Schlafer, Matthew Biren, Tim Sexton and David Rowe were present. Also Present: Attorney Christopher Gierhart, City Administrator Mike Golat, Police Chief Jesse James, Fire Chief Mark Renderman, City Engineer/Director of Public Works David Walter, City Planner Joshua Clements, Finance Director Tina Nelson, Management Analyst Roy Atkinson, and City Clerk Cindy Bauer.

Absent: Council Member Dale Stuber.

(IV) Citizen Participation Period

Motion by Biren/Sexton to close Citizen Participation Period. **Motion carried.**

(V) Approval of minutes.

Motion by Rowe/Sexton to approve the minutes of the July 26, 2018 Regular Council Meeting. **Motion carried.**

(VI) City Officers/Department Heads Report

Police Chief Jesse James updated the Council regarding the Chief Conference in Green Bay that he recently attended. James commented on the first National Night Out held this past Tuesday at Tenth Street Park. James thanked all the staff, volunteers, Altoona School District, and other people within the community that made the first National Night Out a great success. James also thanked those that donated to this event.

Fire Chief Mark Renderman gave an update on the call volume of EMS/Fire Calls this year; 665 so far for 2018. Renderman commented on a disaster training exercise that will be taking place Monday, August 13, 2018 at the Altoona Emergency Services Building.

City Planner Clements commented on some of the building projects that will be near completion.

Management Analyst Roy Atkinson gave a six month review on the Community Room Usage from March 1 – August 6, 2018.

City Committee Reports – None.

(VII) Unfinished Business – None.

(VIII) New Business

(1) Discuss/consider approval of Resolution 8A-18, a resolution authorizing the closing of books of account for the year ended December 31, 2017 and to accept the Comprehensive Annual Financial Report for 2017.

City Administrator Golat explained that following completion of the Auditor's presentation, given at the August 9, 2018 Finance Committee meeting, staff recommends Council approve a motion to authorize closing the books of account for 2017 and to accept the City's 2017 Comprehensive Annual Financial Report as

presented. Golat summarized the Report.

Council Member Schlafer commented that Johnson Block recommended the City does an audit of the TIF Districts. Schlafer asked if the City could do a RFP for next years Audit as discussed in the last two years by the Finance Committee.

Motion by Schlafer/Biren to approve Resolution 8A-18, a resolution authorizing the closing of books of account for the year ended December 31, 2017 and to accept the Comprehensive Annual Financial Report for 2017. **Motion carried.**

(VIII)(2) Public Hearing at 6:00 p.m. regarding proposed amendment to the Official City Map per Altoona Municipal Code 12.02.

Mayor Pratt opened the public hearing at 6:15 p.m.

City Planner Clements referred to the proposed amendment to Official Map and DOT backage road arrangement. The City has the authority to dedicate and reserve property for future planned public facilities, including roadways, parks, and other features. "The official map is declared to be established to conserve and promote the public health, safety, convenience or general welfare" (Wis. Stats § 62.23(6)(c)). Clements mentioned that the Plan Commission recommended approval of the amendment to the Official Map on July 16, 2018.

City Planner Clements explained that the proposed right-of-way addition includes an extension of North Hillcrest Parkway from its current eastern terminus, curving away (north) from Highway 12, to align with Rosebud Lane in Hillcrest Estates Mobile Home Community, consistent with WI DOT backage road mapping of the area. The right-of-way would be largely consistent with the current arrangement of Rosebud Lane, a private road, in Hillcrest Estates, and provide for future improvement and dedication of a public roadway. The proposed Official Map will ensure that the frontage/backage road (Hillcrest Parkway) is contiguous at some point in the future through the City of Altoona. Additional Official Mapping will need to take place to accomplish this.

This timing of this Official Map is advanced due to the rezoning action (approved by Council on July 26) of part of 602 N. Hillcrest Parkway to allow for development of multi-family dwellings. If that development proposal moves forward, or another development action that requires completion of a Certified Survey Map, the future roadway must then be dedicated through that parcel. The City will need to work with the ownership group of Hillcrest Estates to accomplish the remaining future roadway.

City Planning and City Engineering recommend approval of the amended Official Map to improve circulation and safety, to promote public health, safety, and general welfare. Clements explained that there is only one entrance/exit from Hillcrest Estates, which is onto a State Highway, which creates constrained circulation for vehicles and safety hazard. The only pedestrian or bicycle route into Hillcrest Estates is via an existing bike trail connection through the elementary school site. This future roadway would improve vehicle access while also providing for a future sidewalk or trail connection.

Motion by Rowe/Hanks to close the public hearing at 6:23 p.m. **Motion carried.**

(VIII)(3) Discuss/consider approval of Ordinance 8A-18, an ordinance amending the Official City Map per Altoona Municipal Code 12.02 to extend North Hillcrest Parkway from its current eastern terminus to the eastern bounds of Hillcrest Estates Mobile Home Community, inclusive of Oak Drive to the south.

Motion by Biren/Hanks to approve Ordinance 8A-18, an ordinance to amend the City's Official Map as described by City Planner Clements. **Motion carried.**

(VIII)(4) Discuss/consider request from the League of Wisconsin Municipalities for a monetary contribution to advocate for addressing the Dark Store and Walgreens tax appeal issues.

City Administrator Golat referred to a letter from Jerry Deschane, Executive Director of the Wisconsin League of Municipalities related to their efforts to keep the Dark Store and Walgreens tax shift in front of candidates for Governorship and Legislature this year. The League is requesting support from all member municipalities to sustain their advocacy for legislation that will address the Dark Store and Walgreens tax assessment issues.

Curt Witynski, from the League was present at the meeting to explain the League's request related to their efforts to keep the Dark Store and Walgreens tax shift in front of candidates for Governorship and Legislature this year. Witynski also commented on the Personal Property Tax exemptions.

Motion by Sexton/Rowe to approve a contribution to the League of Wisconsin Municipalities in the amount of \$1,200.00 to sustain their advocacy for legislation that will address the Dark Store and Walgreens tax assessment issues. **Motion carried.**

(VIII)(5) Discuss/consider setting Public Hearing date to rezone parcel #201-1045-02-020 from C Commercial District to R-3 Multiple Family Dwelling District as submitted by Lee Haremza and to refer the petition to the Plan Commission for its recommendation prior to the Public Hearing (Recommended public hearing date, August 23, 2018 at 6:00 p.m. and Plan Commission date of August 13, 2018 at 6:00 p.m).

City Planner Clements explained that the petitioner Lee Haremza has submitted a petition to rezone parcel #201-1045-02-020 from C Commercial to R-3 Multiple Family Dwelling District. The enclosed conceptual site plan illustrates two buildings, each with eight units, plus two freestanding garage structures. The parcel is illustrated in the City's Future Land Use Map (2009 Comprehensive Plan) as "high density residential". The parcel also includes a future public right-of-way reflected on the City of Altoona Official Map. This future roadway is currently a gravel drive and is closed to the public. The petitioner will be required to complete and dedicate the roadway (North Hillcrest Parkway) and related facilities as a condition of Site Plan approval. Clements noted that per Altoona City Ordinance 19.68.030, upon receipt of a petition for rezoning, the City Council shall send the petition to the Plan Commission for their recommendation and set a date for a Public Hearing.

Council Members Schlafer and Rowe had concerns with the proposed rezoning from Commercial to R-3.

Motion by Hanks/Sexton to set the Public Hearing date for the proposed rezoning as 6:00 p.m. on August 23, 2018, and refer the petition to the Plan Commission. Schlafer against. **Motion carried.**

(VIII)(6) Discuss/consider amendment to the engineering contract for the CTH KB-Bartlett Avenue project to include construction administration for Phase 1.

CE/DPW Walter explained that the City selected Cedar Corporation to design the above project for the entire length from 3rd Street East to the City Limits past the new elementary school. The scope of services included tasks through the bidding process. Phase 1 of the project was recently awarded to Haas Sons, Inc. Cedar Corporation submitted a proposal for construction engineering services for Phase 1. The budget for this project included the cost of construction engineering and administration services.

Motion by Rowe/Hanks to approve amendment to the engineering contract with Cedar Corporation for the CTH KB-Bartlett Avenue project to include construction administration for Phase 1 at a lump sum cost not to exceed \$44,500. **Motion carried.**

(VIII)(7) Discuss/consider approval of Ordinance 8B-18, an ordinance amending Chapter 5.20 of the Altoona Municipal Code "Mobile and Temporary Food Vendors."

Management Analyst Atkinson explained that this proposed ordinance amendment eases the background check requirements for applicants. Under this amendment, only mobile food vendor owners will be required to submit to a background check examination. This proposed ordinance amendment also adds language establishing a licensing exemption for mobile food vendors operating in conjunction with an approved block party. Council Member Sexton had some concerns when an ice cream truck vendor goes into residential neighborhoods; there should be background checks of the operators, not just the owners.

Jason Tepaske, owns property at the corner of Third Street East and N. Hillcrest Parkway. Tepaske is in favor of the proposed amendment. Tepaske clarified Sexton's question regarding a private party with a mobile food vendor. Tepaske noted the difference between a food truck versus a catered party.

Motion by Schlafer/Biren to approve Ordinance 8B-18, an ordinance amending Chapter 5.20 of the Altoona Municipal Code. Hanks against. **Motion carried.**

(VIII)(8) – Discuss/consider approval of Ordinance 8C-18, an ordinance amending Chapter 5.52 of the Altoona Municipal Code “Block Party Permit”.

Management Analyst Atkinson explained that this proposed ordinance amendment allows mobile food vendors to operate in conjunction with an approved block party. Residents seeking to invite a mobile food vendor at their approved block party will be required to list the participating vendors on their application. This ordinance amendment also exempts mobile food vendors operating in conjunction with an approved block party from licensing procedures set forth in ch. 5.20 of the Altoona Municipal Code.

Motion by Sexton/Biren to approve Ordinance 8C-18, an ordinance amending Chapter 5.52 of the Altoona Municipal Code. Hanks and Rowe against. **Motion carried.**

(VIII)(9) Discuss/consider River Prairie Drive Sign Policy.

Management Analyst Atkinson explained that the City of Altoona recently added a digital marquee sign in the River Prairie Northwest Quadrant near River Prairie Drive. This digital marquee sign provides an outlet for marketing River Prairie Businesses, Parks and Recreation Department programming as well as City and community events that take place in River Prairie other places in Altoona. This sign enhances the City’s mission of furthering public awareness and outreach within the community. The sign also has six, two-sided (23”H x 41.25”W apiece) tenant panels available for rental exclusively by businesses located in the River Prairie Northwest Quadrant.

This policy pertains to the general operational and administrative guidelines of the sign. This policy addresses staff responsibilities, allowable content, rental fee waivers, associated fees and times of operation of the digital marquee.

City Administrator Golat explained that this digital marquee sign will be utilized to enhance city services and communication with citizens and visitors. In pursuit of these goals, this digital marquee can be utilized to:

1. Publish important emergency information.
2. Release non-emergency City of Altoona announcements.
3. Advertise special events/events programming taking place in the River Prairie Northwest Quadrant and at other City facilities.
4. Recognize sponsors of city programs and events.
5. Market businesses located in the River Prairie Northwest Quadrant.
6. Recognize outstanding achievements of individuals, teams and organizations in the community as deemed appropriate in the sole and absolute discretion of the City Administrator or designee.

The River Prairie Northwest Quadrant encompasses the land north of River Prairie Drive and directly to the east of HWY 53. This space contains River Prairie Park and the River Prairie Center

Motion by Schlafer/Sexton to approve the River Prairie Drive Sign Policy. **Motion carried.**

(VIII)(10) Discuss/consider approval of Ordinance 8D-18, an ordinance amending Chapter 3.08, Addendum “A”, the City’s Fee Schedule to amend fees relating to the River Prairie Drive Sign.

City Planner Clements commented on how the fees were determined. Management Analyst Atkinson recommended approval of Ordinance 8D-18, an ordinance amending Chapter 3.08, Addendum A “Fees”, to add fees relating to the River Prairie Drive Sign.

Council Member Schlafer noted that the fee for a custom sign was only \$10. Schlafer felt that when determining fees, take into consideration the staff time.

Motion by Schlafer/Sexton to approve Ordinance 8D-18, an ordinance amending Chapter 3.08 Addendum “A”, to amend fees relating to the River Prairie Drive Sign. Schlafer and Sexton amended their motion to change the custom sign fee to \$20.00 **Motion carried.**

(VIII)(11) Discuss/consider approval of Bartender licenses for the 2018-2019 Licensing period as submitted by Clerk Bauer. (List available upon request). Approved by the Altoona Police Department.

City Clerk Bauer noted that the City has received bartender license applications from the following applicants: Erin R. Beyer, Christine K. Burg, Emma C. Wilcox, Jerry L. Smith, Isaac Haats and Linda Gray for the period now through June 30, 2019. Police Lieutenant David Livingston has reviewed and recommends approval of the bartender applications as submitted by Clerk Bauer.

Motion by Biren/Hanks to approve the bartender licenses for the 2018-2019 licensing period as submitted by Clerk Bauer. **Motion carried.**

(VIII)(12) Discuss/consider convening in closed session pursuant to Wis. Stats 19.85 (1)(e)

A. Purchase and/or sale of property.

Motion by Hanks/Biren to convene in closed session at 7:23 p.m. Roll call vote, 5-eyes, Hanks, Schlafer, Sexton, Biren, Rowe, 0-nays. **Motion carried. 5-0.**

(VIII)(13) Motion to reconvene to Open Session.

Motion by Hanks/Rowe to reconvene in open session at 8:31 p.m. Roll call vote, 5-eyes, Biren, Hanks, Rowe, Schlafer, Sexton, 0-nays. **Motion carried.**

City Administrator Golat explained that there matters discussed in closed session relating to sale of property, none which required action at this time.

(X) Miscellaneous Business and Communication.

None.

(XI) Adjournment.

Motion by Biren/Hanks to adjourn at 8:33 p.m. **Motion carried.**

Minutes submitted by Cindy Bauer, City Clerk



MEMORANDUM

TO: Altoona City Council

FROM: Michael Golat, City Administrator

SUBJECT: Summary of August 23, 2018 Council Meeting Items

(VII) UNFINISHED BUSINESS

(VIII) NEW BUSINESS

ITEM 1 - Public hearing at 6:10 p.m. or as soon thereafter as is possible to rezone parcel #201-1045-02-020 (N. Hillcrest Parkway) from C Commercial District to R-3 Multiple Family Dwelling District as submitted by Lee Haremza. (Discussed at the August 13, 2018 Plan Commission Meeting)

[Agenda >>](#) [Materials >>](#)

See enclosed:

- Planning Staff Report
- Conceptual Site Plan (included in Staff Report)

The petitioner Lee Haremza has submitted a petition to rezone parcel #201-1045-02-020 from C Commercial to R-3 Multiple Family Dwelling District. As further described in the enclosed Staff Report and conceptual site plan, the proposal entails construction of two buildings, each with eight units, plus two freestanding garage structures. The parcel is illustrated in the City's Future Land Use Map (2009 Comprehensive Plan) as "high density residential".

The parcel also includes a future public right-of-way reflected on the City of Altoona Official Map. This future roadway is currently a gravel drive and is closed to the public. The petitioner will be required to complete and dedicate the roadway (North Hillcrest Parkway) and related facilities as a condition of Site Plan approval.

Three items of discussion arose during the Plan Commission discussion: spot zoning; residential/commercial adjacency; and relative supply of available residential and commercial property. The following summary seeks to address each in turn.

Spot Zoning. According to Brian Ohm, JD, Professor of City Planning and Law at the University of Wisconsin (Ohm, 2013. [Wisconsin Land Use and Planning Law](#)):

Amending a zoning ordinance to zone a relatively small area for uses significantly different from those allowed in the surrounding area to favor the owner of a particular piece of property is termed "spot zoning". The Wisconsin Supreme Court has defined spot zoning as "whereby a single lot or area is granted privileges which are not granted or extended to other land in the vicinity, in the same district".

Spot zoning is not necessarily illegal but must be judged on individual circumstances. To determine whether spot zoning is legal, the courts look at the purpose for which the zoning is

granted. Since zoning is a legislative function and carries with it a “presumption of validity”, judicial review is limited to determining whether the rezoning is unconstitutional, unreasonable, or discriminatory.

According to the courts, for a rezoning to be upheld against an attack as illegal spot zoning, the spot zoning should be for a public purpose and result in public benefit and not solely the personal benefit for the property owner requesting the rezoning. One way to show that the spot zoning will result in a public benefit is to demonstrate that the rezoning is consistent with long-range planning and is based on considerations that affect the whole community.

It is the opinion of City Planner / Zoning Administrator Clements, based upon review of adopted City development policies and examination of Wisconsin case law, that the proposed rezoning does not constitute a spot zone.

- The parcel, as well as the adjacent 2.9 acre parcel to the east with an existing single-family home, are identified as “high density residential” in the City’s Future Land Use Map (2009), therefore the rezoning may be considered consistent with the long-range plans of the City;
- While there are no adjacent parcels zoned as R3, adjacent uses to the west and north are of similar scale, character and use, as further described in the enclosed staff report;
- Further, the City has adopted goals in the Comprehensive Plan to advance development of multi-unit housing where infrastructure supports the use and is proximity to transportation and employment;
- There are no anticipated adverse externalities of the proposed use to adjacent uses or to the public, or are existing uses in the vicinity anticipated to generate adverse externalities onto the proposed use of the parcel in question.

Residential/commercial adjacency. Context is important in how people utilize the physical environment, and generation of both direct, indirect, and induced impacts. Euclidean zoning, which our current zoning structure is largely based, functions under the perspective that public health, safety and welfare is best served by strictly enforcing physical separation of residential, commercial and residential uses into separate districts or zones. Without diving deeply into theory or history, this separation of uses was based upon the challenges of the time (1920s – 1960s). However, most of these issues have been addressed through building technology and materials, modern utilities, and pollution regulations. The negative externalities of this separation are well documented in terms of human health, transportation and utility costs and obligations, and many others.

Physical development regulations such as zoning and related standards have moved toward addressing elements identified as negative or burdensome more directly as they relate to the specific context of a site. While Altoona’s zoning ordinances still remain largely as written in 1970 at the core, there are contextual standards that are applied. These include those identified in the site plan chapter, requiring buffering and landscaping to manage sound, light, and aesthetic concerns. The Commercial District, for example, provides for zero required setback- except when a commercial use is adjacent to a residential use, then a setback and buffer are required. Indeed, a substantial portion of the commercial property in Altoona are located in linear corridors where they are adjacent to residential uses on at least one side (N. Hillcrest Parkway, S. Hillcrest Parkway, Spooner Ave., Hamilton Ave., Fairfax St.).

While there may be concerns and thoughtful vigilance should be exercised, the proposed use would not introduce adverse externalities from existing neighboring uses onto the proposed residential use. The unknown would be the future of the parcel to the east which is zoned commercial, currently is a single-family home, and is also identified for “high density residential” use on the Future Land Use Map. Regardless of the ultimate next development condition or use of that parcel, that petitioner will need to

respond to the context. The onus would be on future development of that neighboring parcel to address that context, and not for the current proposal to respond to various unknown development scenarios.

Supply of Land. Vacant property available for development and served by existing public utilities, of all zoned uses, are in relative short supply given the pace of development in recent years.

A cursory analysis of available vacant property within the City for development:

- Two areas currently zoned R3:
 - 3.3 acres owned by Richard Golde located between Twin Oak Drive and N. 10th Street
 - 0.35 acres owned by Eric Borst at the corner of 3rd Street E and Devney Drive (rezoned in 2017).
- Commercial:
 - 16.1 acres owned by Finland Holdings at the corner of HW12 and Mayer Rd.
 - 5 acres (developable) owned by Curt Tambornino on N. Mayer Rd.
 - 2.1 acres on Bob Brown Blvd.
 - 0.77 acres next to Altoona Family Restaurant.
 - 1.66 acres (~1.1 developable) owned by the City of Altoona off McCann Drive
 - 2.23 acres off McCann Drive owned by WI State Carpenters Pension Fund
 - 0.9 acres at the corner of 10th Street W and HW12
 - 2.7 acres in Hillcrest Greens (not including Casey's proposal)
 - 2.2 acres off N Hillcrest Parkway owned by Haselwander Bros.
 - 1 acre adjacent to Citizens Community Credit Union
 - 0.5 acres at the corner of Spooner Ave and Orchard Ln.
 - 1 acre in Rivers Edge Trail
 - 0.5 acres (developable) at the corner of 3rd Street E and N. Hillcrest
- The above figures are conservative estimates, and do not account for building additions or potential redevelopment activities.
- The above figures do not include River Prairie, which is predominately commercial use anticipated on remaining parcels (City of Altoona and Woodmans)

Suggested motion: I move to close the Public Hearing.

ITEM 2- Discuss/consider approval of Ordinance 8E-18, an ordinance rezoning parcel #201-1045-02-020 (N. Hillcrest Parkway) from C Commercial District to R-3 Multiple Family Dwelling District as submitted by Lee Haremza. [Agenda >>](#) [Materials >>](#)

The Plan Commission voted 5-1 to recommend approval of the rezoning contingent upon approval of a Site Plan and submission of construction permits.

The Plan Commission recommendation utilizes “Conditional Zoning”. According to Prof. Ohm, “Conditional zoning is the attachment, to a rezoning, of conditions that are not spelled out in the text of the zoning ordinance.” There are two main methods relevant to this particular context:

- (1) Delayed effective date.
 - a. Zoning is not changed immediately.
 - b. A condition is placed where, once met, the rezoning occurs.
- (2) Automatic repeal.
 - a. Zoning is changed immediately.

- b. A specific date could be placed that, at such time, if the condition is not met, the parcel automatically is rezoned to the previous designation.
- c. Prof. Ohm recommends that if this option is pursued, public notice should be provided and a public hearing be held at that time of reverting to previous zoning to avoid potential challenge on due process grounds.

In either case, Prof. Ohm provides the following guidelines and suggestions should conditional zoning be pursued:

- (1) The conditions attached should be reasonable, well defined, and based upon the Comprehensive Plan;
- (2) The rezoning ordinance should contain a section explaining the intent and form of conditional zoning provisions;
- (3) If the provisions contain an automatic repeal or delayed effective date with a time limit, a specific time limit should be defined.

If the Council follows the Plan Commission recommendation and determines that Conditional Zoning is appropriate in this case, staff recommends the following:

- (1) The delayed effective date be the selected method;
- (2) The condition for effect is the City receiving a complete construction permit application, including permit fees, for a multi-family residential use;
- (3) Construction permit application must follow an approved Site Plan;
- (4) That a deadline of three years (August 23, 2021) is included, after which the ordinance shall spoil.

Suggested motion: I move to approve / not approve Ordinance 8E-18 with a delayed effective date on which a complete construction permit application for a multi-family residential use is received by the City of Altoona, following an approved site plan, not later than August 23, 2021.

ITEM 3 - Discuss/consider approval of a Specific Implementation Plan for Prevea in the SW Quadrant of River Prairie. (Discussed at the August 13, 2018 Plan Commission Meeting). [Agenda >>](#) [Materials >>](#)

See Enclosed:

- Planning Department Staff Report
- Project Description
- Site & Civil Plan Set
- Architectural Renderings

Specific Implementation Plan illustrates architecture and site design elements for Prevea Health medical clinic to be located on Woodman Drive in the Southwest Quadrant of River Prairie. The property is comprised of two parcels presently owned by the City and is approximately 4.460 acres. The clinic will be approximately 32,000 ft², two-story building occupying the rear (south) of the lot. There will be no ambulatory care facilities on site. A second phase is illustrated on the plan set with a footprint of approximately 15,000 ft².

The Specific Implementation Plan package is complete- except for the landscaping plan (proposed to be reviewed by staff at a future date- see recommended approval conditions).

Planning Department recommends the Plan Commission **approve** the Specific Implementation Plan as being in substantial conformance with the General Implementation Plan with specified modifications and conditions:

- A. Letter designates general review category

1. Number heading denotes proposed condition
 - a. Small numeral subheading denotes subordinate or referred condition
 - i. (i) indicates staff comment or ordinance reference.
- A. Any changes to civil plan, landscape plan, architecture, or circulation from the SIP submittals shall be reviewed by City of Altoona staff, per River Prairie Design Guidelines & Standards [RPDG] amendment process [VIII]. Major changes will require review by the Plan Commission and Council. Appropriate building permits shall not be issued until City staff successfully reviews and approves of final plans (erosion control; stormwater; civil site) to ensure conformance with River Prairie Design Guidelines & Standards and consistency with the SIP approval conditions herein; and consistent with *Altoona Municipal Code* Chapter 14. Landscaping plan (see below) shall be reviewed and approved by staff prior to installation.
- B. Access, Circulation & Parking (RPDG IX. 1)**
1. Site Plan as proposed generally provides adequate pedestrian connection to existing and planned public walkways, as required by the River Prairie Design Guidelines. Material layout of the designated pedestrian walkway shall be continuous (concrete) as it crosses through the parking lot and drive isles, with a break in the continuity of the parking area paving and not the pedestrian access way [RPDG IX. 1 (C)(5)b].
 2. Concrete walkway, minimum 6-foot width, shall be designed and constructed to connect the internal pedestrian routes (adjacent to building) to the multi-use trail to be designed and constructed by the City to the south and west of the site [RPDG IX. 1 (C)(7)] as discussed during pre-application meetings. This design shall be reviewed/approved by City staff and shall utilize the Wisconsin Bicycle Facilities Design Handbook for design standards and tolerances. Staff shall review/approve design.
 3. Bicycle spaces shall be provided at a ratio of not less than 1 per 10 automobile spaces and be the “U Stand” or “Rounded A” design, or substantially similar, as described in *Altoona Municipal Code* Chapter 19.52.
 - i. Not less than 13 bicycle spaces shall be provided for Phase One (127 automobile spaces) and not less than 25 spaces shall be provided total (249 automobile spaces projected).
 - ii. City staff recommends placing indoor bicycle storage for facility staff in an appropriate area, if possible, such as in the western stair column (under the stairs).
- C. Landscaping [RPDG IX 6]**
1. **A Landscape Plan that meets the River Prairie Design Guidelines and Standards shall be prepared and reviewed/approved by City Staff.** The City Council hereby specifically delegates review and approval authority to City Staff. The petitioner may appeal staff review decisions/conditions to the Plan Commission and City Council as a “minor amendment to the Specific Implementation Plan” per RPDG VIII 3.
 2. Foundation plantings shall be provided around the front (north) of the building at least three feet wide along not less than fifty percent of the frontage [RPDG IX 6 (E)(2)].
 3. Parking lot islands shall be landscaped, including canopy shade trees, to maximize area of shading [RPDG IX 6 (E) (5)] not less than one per 150 sf² of island area. The parking lot islands shall feature appropriate and attractive plant selections, including appropriate selection of tree species.
 4. Native canopy trees shall be planted between the parking area and Woodman’s Drive at not greater than 25-foot average spacing [RPDG IX 6 (D), (E), (G)].
 5. Native canopy trees shall be planted in the parking area boulevard between the designated pedestrian walkway through the automobile drive isle at not greater than 25-foot average spacing [RPDG IX 6 (D), (E)(5), (G)].

6. Native canopy trees shall be planted along the western edge of the parking area at not greater than 40-foot spacing [RPDG IX 6 (D), (E), (G)] with species selection and placement in recognition of the slope.
7. Tree selection shall be native species with minimum diversity and planting size as illustrated in the RPDG [IX 6 (D)].
8. All planting areas shall be permanently irrigated, except those designed as xeriscaping [RPDG IX 6 (I)]. Water conservation strategies are strongly encouraged [RPDG IX 6 (E)(3)].
9. Any landscape element that dies, or is otherwise removed, shall be promptly replaced [RPDG IX 6 (H)].
10. Existing trees in the natural area buffer zone to the south of the proposed building shall be preserved to the extent reasonably feasible. The concrete walkway required to connect to the public multi-use trail may cross this area, and may also reasonably impact existing vegetation and immature/unhealthy tree specimens as necessary for optimal orientation. Any proposed removal of mature trees, or land disturbing activities on the site shall be reviewed by City Staff. No land disturbing activities may be permitted within the critical root zone of mature specimens without specific review/approval [19.15.080; RPDG IX 6 (F)].

D. Building and Architectural Standards [RPDG IX 7]

1. The exterior façade design and materials shall establish a “base” that is consistent around the entire perimeter. This may be achieved by continuing the proposed stone materials around the building. “All facades shall have: a recognizable ‘base’ consisting of (but not limited to): (1) thicker walls, ledges or sills; (2) integrally textured materials such as stone or other masonry; (...) [RPDG IX 7.3 (D) 2 (A) 6a]. “All facades shall have: a recognizable ‘top’ consisting of (but not limited to): (1) cornice treatments, other than just colored ‘stripes’ or ‘bands’, with integrally textured materials such as stone or other masonry of differently colored materials; (2) sloping roof with overhangs and brackets; (3) stepped parapets” [RPDG IX 7.3 (D) 2 (A) 6b].
 - i. In pre-application consultation with the architecture team, City Staff understands that Prevea Health utilizes a branded architecture and materials package and finds that, overall and as a whole, the design approach as proposed **meets and satisfies** the stated intent of the River Prairie Design Guidelines in terms of achieving quality of design characteristics.
2. Any/all mechanical equipment, including roof-mounted units, shall be appropriately screened by building-compatible materials or landscaping [RPDG, IX 7 H].
3. All building and site signs shall be required to acquire sign permits and meet design requirements outlined in the River Prairie Design Guidelines, IX 5. Insufficient information provided in the SIP submittals (dimensions, total area calculations, design, lighting, etc.) for sign review and approval.
4. All exterior lighting on the site shall be of full cut-off design and be shielded to prevent spillover of direct light onto adjacent properties [*Altoona Municipal Code* 19.59.030 (H)].
5. The refuse enclosure shall be gated and constructed of materials substantially similar to those of the principal building façade [RPDG IX 7 H] and be screened with vegetation to the maximum degree practicable.

E. Utilities

1. Fire Department Connection (FDC) shall be 4” STORTZ and shall be located on the north face of the building. Final placement shall be reviewed and approved by Altoona Fire Department.
2. Private utilities, including electric transformers, shall be located such as to minimize impact on landscaping. Private electric service shall be located on private property under softscape, avoiding impacts on trees and major landscaping elements. City of Altoona reserves the right to review and approve location of electrical transformers and other visible fixtures.
3. Submittal and successful review of final *storm water plan* and *civil site plan* by City Engineer as described in the *Altoona Municipal Code* Chapter 14.

The Plan Commission voted 6-0 to recommend approval of the SIP with enclosed staff recommended modifications.

Suggested motion: I move to approve / not approve the proposed Specific Implementation Plan for Prevea Health as being in substantial conformance with the River Prairie Design Guidelines & Standards with staff recommended modifications.

ITEM 4 - Public Hearing at 6:15 p.m. or as soon thereafter as is possible regarding a Certified Survey Map to combine Lots 4 and 5 of the SW Quadrant of River Prairie (parcels #201-1002-06-120 & #201-1002-06-130). [Agenda >>](#) [Materials >>](#)

See ITEM 3 for materials and summary.

The proposed Certified Survey Map would combine Lot 4 and 5 of the SW Quadrant of River Prairie to accommodate Prevea Health development. The CSM would dedicate a small semi-circle portion along the north property line to complete construction of Woodman Drive and cul-de-sac.

Suggested motion: I move to close the Public Hearing.

ITEM 5 - Discuss/consider approval of a Certified Survey Map for Lots 4 and 5 of the SW Quadrant of River Prairie (parcels #201-1002-06-120 & #201-1002-06-130) (Discussed at the August 13, 2018 Plan Commission Meeting). [Agenda >>](#) [Materials >>](#)

See Item 3 and 4 for materials and summary.
See proposed CSM illustration, enclosed.

Suggested motion: I move to approve / not approve the proposed Certified Survey Map for parcels #201-2378-01-000 and #201-2378-02-000.

ITEM 6 – Discuss/consider Intergovernmental Cooperative Agreement between the City of Altoona and Eau Claire County for the CTH KB-Bartlett Avenue Reconstruction-Phase 1 project.

[Agenda >>](#) [Materials >>](#)

Attached for your consideration is a proposed Intergovernmental Cooperative Agreement between the City of Altoona and Eau Claire County for completion of the above project. As Bartlett Avenue is under the jurisdiction of both parties, the agreement covers the division of responsibility as well as the cost-sharing component. A worksheet outlining the County's financial obligation for the center portion of the roadway is attached as an exhibit to the agreement.

Suggested motion: I move to approve/not approve the Intergovernmental Cooperative Agreement between the City of Altoona and Eau Claire County for the CTH KB-Bartlett Avenue Reconstruction-Phase 1 project.

ITEM 7 - Discuss/consider approval of a Class "A" Retailers' license to sell fermented malt beverages in the City of Altoona to the following applicant: [Agenda >>](#) [Materials >>](#)

B & L Gray LLC
DBA. The Store & More
Bruce Gray, Agent
1032 Oak Drive, Suite B
Altoona, WI 54720

Bruce Gray of B & L Gray LLC recently opened The Store and More, a convenience store, at 1032 Oak Drive in Hillcrest Estates. The business is located in an existing multi-tenant commercial building. Hillcrest Estates has a current Manufactured Home Community license per Title 17 of Altoona Municipal Code. The portion of Hillcrest Estates located between Rosebud Lane and Highway 12 is zoned C Commercial District.

The Plan Commission, at its August 13, 2018 meeting approved a Conditional Use Permit on 6-0 vote to allow Mr. Gray to acquire a liquor license and commence the sale of beer.

Mr. Gray is now applying for a Class “A” Retailers’ license to sell fermented malt beverages in the City of Altoona valid from August 24, 2018 – June 30, 2019.

Police Chief James has reviewed and recommends approval of the application submitted.

Staff recommends renewal of the Class “A” Retailers license to sell fermented malt beverage submitted for the period of August 24, 2018 through June 30, 2019.

Suggested motion: I move to approve/not approve a Class ‘A’ Retailers license to sell fermented malt beverages in the City of Altoona to B & L Gray LLC.

ITEM 8 - Discuss/consider approval of Bartender Licenses for the 2018-2019 Licensing period as submitted by Clerk Bauer. (List available upon request). Approved by the Altoona Police Department).

[Agenda >>](#) [No Materials](#)

The City has received bartender license applications from Paige Thompson, Alyssa Brown, Courtney Strechen, and Emily Conley for the period of now through June 30, 2019. Police Lieutenant Livingston has reviewed and recommends approval of the bartender applications as submitted by Clerk Bauer.

Suggested motion: I move to approve/not approve the renewal and new bartender licenses as listed above for the 2018-2019 licensing period as submitted by Clerk Bauer.

ITEM 9 - Discuss/consider convening in closed session pursuant to Wis. Stats 19.85 (1)(e) deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session.

- A. **Purchase and/or sale of property.** [Agenda >>](#) [No Materials](#)

ITEM 10 - Motion to reconvene to Open Session for the purpose of discussion and possible consideration on the matter entertained in Closed Session. [Agenda >>](#) [No Materials](#)

- A. **Discuss/consider purchase and/or sale of property.**



1303 Lynn Avenue, Altoona, WI 54720

NOTICE OF PUBLIC HEARING
City of Altoona
Rezoning

NOTICE IS HEREBY GIVEN that on **Thursday, August 23, 2018 at 6:10 p.m.** (or as soon thereafter as is practical) there will be a public hearing before the Altoona Common Council at Altoona City Hall, 1303 Lynn Avenue, Altoona, to rezone parcel #201-1045-02-020 from C Commercial District to R-3 Multiple Family Dwelling District as submitted by Lee Haremza.

All interested parties are invited to attend. Said hearing shall be held before the Common Council. If unable to attend, submit your opinion in writing prior to the public hearing. A map of the proposed rezoning is available upon request from the City Clerk's Office or via e-mail to cityhall@ci.altoona.wi.us.

The Plan Commission will be making a recommendation at its August 13, 2018 Plan Commission Meeting starting at 6:00 p.m.

If you have any questions, please call Altoona City Hall at 715/839-6092.

A handwritten signature in black ink that reads "Cindy Bauer". The signature is written in a cursive, flowing style.

Cindy Bauer
City Clerk

Dated this 8th day of August, 2018

Published Thursday, August 9 and Wednesday, August 15, 2018



PLANNING DEPARTMENT STAFF REPORT

ALTOONA PLAN COMMISSION – 2018-0813
APPLICATION FOR REZONING –N Hillcrest Parkway

Address TBD
Parcel ID Parcel #201-1045-02-020
Application **REZONE**
Prepared By Joshua Clements, AICP, City Planner

SUMMARY

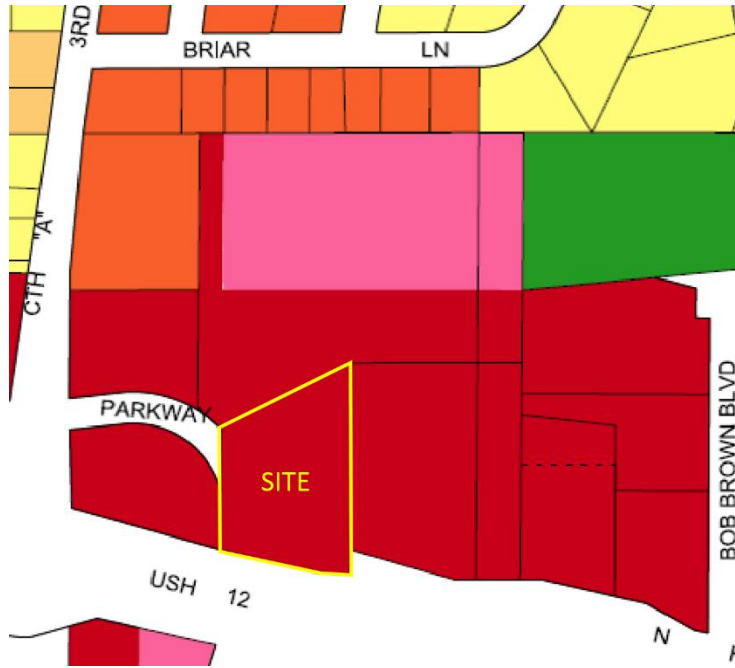
Applicant Lee Haremza
Owner Wayne Peters
Parcel Description Lot 4 CSM 3116 (V17 P287 1121383) See S-5283
Requested Action Rezone from **C** Commercial District to **R-3** Multiple-Family District as further described.
Proposal Summary The petition is to rezone approximately 1.82 acres from C to R-3 zoning to allow for the proposed construction of two 8-unit residential structures and associated free-standing garage structures. The Future Land Use Map for the City (2009) identifies this parcel as “high density residential”.
The parcel includes an area that is included in an Official Map designation by the City of Altoona to complete N. Hillcrest Parkway through the property. This future road alignment approximately follows the existing gravel drive. That public roadway would be constructed and dedicated as a condition of approval of a Site Plan to provide adequate access and infrastructure.
Submittals Application for Rezoning received August 1, 2018
City Staff has determined that submittals satisfy requirements illustrated by code.
Applicable Standards City of Altoona Comprehensive Plan (2009)
City of Altoona Code Title 19: Zoning
Review Required By Plan Commission (August 13, 2018), referral to City Council (August 23, 2018)
Reviewed By Planning Department
Staff Recommendation **Approve** application for rezoning.

Background Information

Zoning & Land Use The current land use of the property is *vacant*.

	Zoning	Land Use
Subject Site	C Commercial District	(vacant)
North	C Commercial District	Care Partners CBRF (Residential, per Conditional Use)
South	N/A	Highway 12
East	C Commercial District	Single-Family Dwelling
West	C Commercial District	Mega Holiday Fuel Station

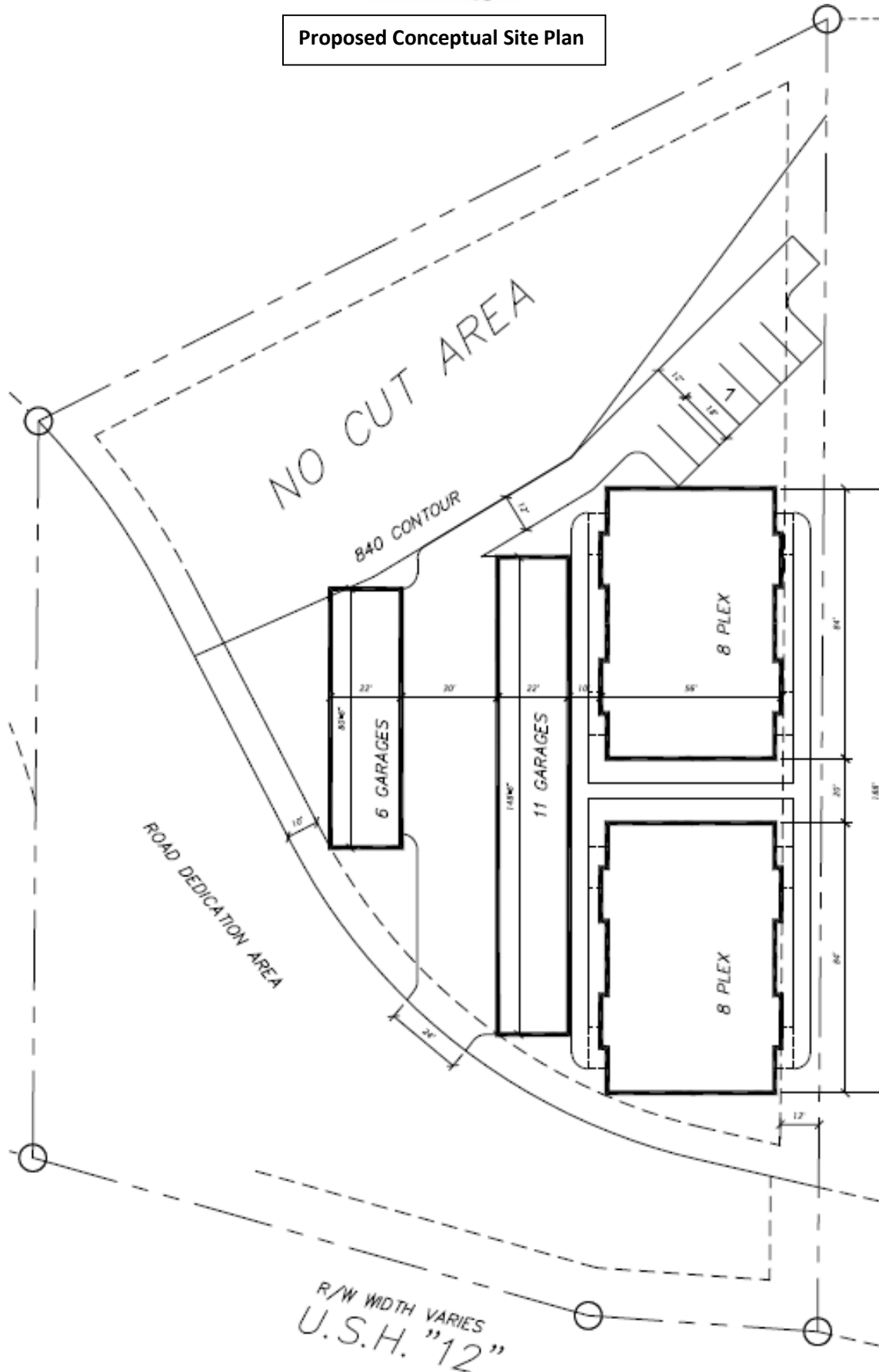
Current Zoning



ZONING LEGEND	
■	R1 ONE FAMILY DWELLING
■	R2 ONE FAMILY AND TWO FAMILY DWELLING
■	R3 MULTIPLE FAMILY DWELLING
■	C COMMERCIAL
■	C1 OFFICE
■	BP BUSINESS PARK
■	I INDUSTRIAL
■	P PUBLIC AND CONSERVANCY



Proposed Conceptual Site Plan



Proposed Land Use	R-3 Multiple-Family Dwelling District. The proposed use is two buildings, 8 units per building, 16 total dwelling units on approximately 1.25 acres.
Conformance with Comprehensive Plan	The 2009 City of Altoona Comprehensive Plan, Future Land Use Map identifies the area as “High Density Residential”. The Comprehensive Plan prioritizes infill, re-development, infrastructure efficiency and mixed-use neighborhoods. The proposal will provide an appropriate scale and transition between adjoining commercial employment uses and residential uses and further priorities for infrastructure efficiency, mixed-use neighborhoods, and supply of affordable housing.
Conformance with Zoning	The Planning Department finds that the proposed use enabled by R-3 zoning is consistent in scale with the character of area zoning, Future Land Use Plan, and existing structures.

Project Description, Analysis & Conclusion

Criteria for Approval Section **19.68** “Amendments”, more specifically **19.68.050** “Factors to be considered”:
[ordinance text in bold, staff analysis below]

In deciding upon any petition for an amendment or rezoning, factors which a council may consider include, but are not limited to, the following:

A. Whether the requested amendment is justified by a change in conditions since the original title is adopted or by an error in the original text;

The Future Land Use Map (2009) illustrates this site as “high density residential”. The proposed zoning designation and proposed use is consistent.

B. The precedence, and the possible effects of such precedence, which might likely result in approval or denial of the petition;

Approval of the proposed rezoning will not create any issues with regard to policy precedence. The uses enabled and proposed by the requested zoning classification are similar in scale to adjoining and area properties with respect to size of buildings and developed character. The parcel is indicated as “high density residential” in the Future Land Use Map (2009).

C. The ability of the city or other government agencies to provide any services, facilities, and/or programs that might be required if the petition were approved;

All City infrastructure is present and available to accommodate development resulting from proposed rezoning. The petitioner shall construct adjacent public roadway and facilities with the development of this parcel, implementing the Official Map of the parcel.

D. The possibility of any significant and negative environmental impacts which would reasonably occur if the petition zoning changed or resulting permitted structures were built; including, but not limited to, surface water drainage problems, waste water disposal problems, or the loss of locally valuable natural resources;

The proposal will need to obtain approval of storm water permit and site plan approval. The existing site is wooded with significant slope. The water dynamics of the site is resulting in erosion carrying sediment into the WI DOT HWY 12 ditchline and adjacent private property. This erosion would be corrected by an approved Site Plan.

E. The compatibility of the proposed uses associated with the petitioned zoning change to existing or planned uses with the immediate area;

The Future Land Use Map (2009) of the parcel is “high density residential”. The proposed use is reasonably consistent, although this term is not defined in the Comprehensive Plan.

Existing uses to the North and West are commercial and senior assisted living of similar size and scale.

F. The effective approval of the petition on adopted development policies of the city;

The City of Altoona Comprehensive Plan serves as the principal adopted development policy. Housing Section 2.1.2 Goal 1 includes policies to support infill development and encourage a range of housing types. Goal 2 includes policies to plan for multiple-family developments in areas where streets, sidewalks and infrastructure and accommodate increased use, and in proximity to public facilities.

This proposal is consistent with adopted development policies as articulated in the 2009 Comprehensive Plan.

G. The compliance of the proposed rezoning with the policies of the comprehensive plan of the city.

See F., above.

Staff Recommendation Planning Department recommends that the Plan Commission **approve** the application for rezoning from C Commercial District to R-3 Multiple-Family District.

ORDINANCE 8E-18

**To rezone parcel #201-1045-02-020
from C Commercial District to R-3 Multi Family Dwelling District**

THE COMMON COUNCIL OF THE CITY OF ALTOONA DOES HEREBY ORDAIN AS FOLLOWS:

Section One:

LOT 4 CSM 3116 (V17 P287 1121383) See S-5283 (FORMERLY LOT 2 CSM 3104 (V17 P263 1120150) SEE S-5270) be rezoned from C Commercial to R-3 One-Family Dwelling District.

Section Two:

The effective date of this Ordinance shall be the date on which the City of Altoona receives a complete construction permit application and corresponding permit fee for a multi-family residential use on the above-noted parcel, consistent with an approved site plan. This Ordinance shall spoil if this condition is not met by August 23, 2021.

Section Three:

That the official zoning map of the City of Altoona be changed to reflect this amendment following the effective published date.

Section Four:

That this Ordinance need not be codified and shall take effect upon its adoption and publication as required by law.

Dated this 23rd day of August, 2018.

CITY OF ALTOONA

By: _____
Brendan Pratt, Mayor

By: _____
Cindy Bauer, City Clerk

Approved: _____

Published: WAIT TO PUBLISH UNTIL FINAL PERMITTING OF PLANS

Adopted: _____



PLANNING DEPARTMENT STAFF REPORT

2018 August 8

SPECIFIC IMPLEMENTATION PLAN – PREVEA HEALTH

[Agenda >>](#) [Summary >>](#)

Address *TBD*

Parcel ID 201-1002-06-120 & 201-1002-06-130

Application Specific Implementation Plan

Prepared By Joshua Clements, AICP, City Planner

SUMMARY

Applicant Rodac LLC

Owner City of Altoona

Parcel Description LOT 4 & 5 CSM 3167 (V17 P405 #1129471), SEE S-5378
Parcel to be reconfigured via CSM pending accepted offer for purchase.

Requested Action Approval of Specific Implementation Plan for construction of an approximately **32,000 ft² medical office building**, Site Plan, Phase II Plan. Landscaping shall be reviewed/approved at future date.

Proposal Summary Specific Implementation Plan illustrates architecture and site design elements for Prevea Health medical clinic to be located on Woodman Drive in the Southwest Quadrant of River Prairie. The property is comprised of two parcels presently owned by the City and is approximately 4.460 acres.

The Prevea Health clinic will be approximately 32,000 ft², two-story building (31' parapet height) with location and form that is long and linear occupying the rear (south) of the lot. The services are intended to include Laboratory, Radiology, Neurology, Pain and Spine, Urgent Care, Internal Medicine, Ear, Nose & Throat, OB-GYN, Primary Care and rotating specialists. There will be no ambulatory care facilities on site. Services will be, in-part, the clinic offerings paralleled by Sacred Heart Hospital. A second phase is illustrated on the plan set with a footprint of approximately 15,000 ft².

Prevea Health utilizes branded architecture and materials typical of all recently and planned facilities, with a combination of brick, glass, quarried stone and metal wall panels. There is a double-height entry space with glass curtain wall trimmed with stone and metal panels. The main entry is designed to function as the primary entrance of the second phase wing as well. There is a drive-up canopy to shelter drop-off patrons.

The Site Plan illustrates 127 automobile parking spaces, of which 7 are handicap accessible. The future expansion area projects approximately 249 total spaces. The City has an agreement with Prevea for public use of the parking after business hours and on weekends. Prevea will be required to extend a walkway to the soon-to-be-constructed public multi-use trail to the west and south of the site for regional circulation.

The landscape plan has not been completed. Staff will review the plan at a future date. The development team expects to break ground as soon as building plans are approved.

Most of the stormwater at this site will be collected and conveyed to regional facilities across the street.

Submittals

Site drawings and renderings submitted by Berners Schober Architects are complete as required in Section VIII 2. of the River Prairie Design Standards and Guidelines – *except for landscaping*. Submission package includes Site Plan (numbered C101-C106), construction details (C500-C501) and building illustrations (A6). **Staff requires submission of and successful review of detailed civil site plan, architecture, & landscape plan incorporating modifications based upon approval conditions prior to construction permitting.**

Enclosed in 2018 August 13 Plan Commission Packet:

- (a) General Location Map: *N/A*
- (b) A Site Inventory and Analysis: *“Existing Site Conditions” [C101]*.
- (c) A Site Plan that includes the following:
 - a. Location of proposed structures and existing structures that will remain, with height and gross floor area included: *“Site Plan” C102*; and *Architectural Building Plans A101, A102, A201, A301, Renderings (2)*.
 - b. Location of street and pedestrian lighting, including lamp intensity, design and height: *Site Photometric Plan EC 101*.
 - c. Location of proposed open space: *“Site Plan” C102*.
 - d. The circulation system indicating pedestrian, bicycle and motor vehicle movement systems: *“Site Plan” C102*.
 - e. Location of all trees, shrubs, and ground cover (proposed or existing) to remain on site: *No information provided – To be reviewed/approved by Staff [proposed]*
- (d) A Stormwater Management Plan: *“Utilities Plan” & “Grading and Erosion Control” C104*. Require City Engineer review of detailed plan prior to issuance of building permit.
- (e) Detailed Elevations of Buildings: *Architectural Building Plans A101, A102, A201, A301, Renderings (2)*.
- (f) Utilities Plan: *“Utilities Plan” C103*
- (g) A Written Report: *Provided*.
- (h) Phasing Plans Where Applicable: *Phase II illustrated in C101 – C104*.
- (i) Any other information deemed necessary by the Plan Commission or Common Council: *Sign Measurements – Not reviewed as part of this SIP review, subsequent sign permit will be required.*

Applicable Standards	City of Altoona Comprehensive Plan (2009) River Prairie Design Guidelines and Standards (2007)
Review Required By	Plan Commission (2018 August 13) recommendation to City Council (Aug 23).
Reviewed By	Planning Department; Public Works; Fire Department
Staff Recommendation	Approve Specific Implementation Plan subject to Conditions.

Background Information

Zoning & Land Use The current land use of the parcel is Vacant.

River Prairie SW Quadrant	Zoning	Land Use
Subject Site	River Prairie Mixed-Use	Vacant
North	River Prairie Mixed-Use	Regional Stormwater Pond
South	River Prairie Mixed-Use	Access Road to Pump Station; Union Pacific Railroad
East	River Prairie Mixed Use	Vacant
West	River Prairie Mixed Use	Vacant – City of Altoona property encumbered by regional transmission lines



Proposed Land Use Commercial - Medical Office.

Conformance with Comprehensive Plan The 2009 City of Altoona Comprehensive Plan identifies the area as the River Prairie Mixed-Use District generally, and this site is illustrated as commercial/office in the General Implementation Plan created by the City. Specific Implementation Plan is **consistent** with the Comprehensive Plan.

Conformance with Zoning

Parcel is zoned River Prairie Mixed Use. Proposed use, site arrangement and features, building design and transportation elements are generally consistent with use guidelines outlined in the approved River Prairie General Implementation Plan. Specific Implication Plan entails review of site and structure.

Project Description, Analysis & Conclusion

Criteria for Approval

River Prairie Design Standards & Guidelines Section VIII 2 – see *Submittals* on page 2.

Planning Department has reviewed and confirmed submittals generally satisfy the River Prairie Design Standards and Guidelines regarding architectural design and site plan. Landscape plan will need to be provided. Recommended of conditions of approval detailed below.

Staff Recommendation

Planning Department recommends the Plan Commission **approve** the Specific Implementation Plan as being in substantial conformance with the General Implementation Plan with specified modifications and conditions:

- A. Letter designates general review category
- 1. Number heading denotes proposed condition
 - a. Small numeral subheading denotes subordinate or referred condition
 - i. (i) indicates staff comment or ordinance reference.

A. Any changes to civil plan, landscape plan, architecture, or circulation from the SIP submittals shall be reviewed by City of Altoona staff, per River Prairie Design Guidelines & Standards [RPDG] amendment process [VIII]. Major changes will require review by the Plan Commission and Council. Appropriate building permits shall not be issued until City staff successfully reviews and approves of final plans (erosion control; stormwater; civil site) to ensure conformance with River Prairie Design Guidelines & Standards and consistency with the SIP approval conditions herein; and consistent with *Altoona Municipal Code* Chapter 14. Landscaping plan (see below) shall be reviewed and approved by staff prior to installation.

B. Access, Circulation & Parking (RPDG IX. 1)

- 1. Site Plan as proposed generally provides adequate pedestrian connection to existing and planned public walkways, as required by the River Prairie Design Guidelines. Material layout of the designated pedestrian walkway shall be continuous (concrete) as it crosses through the parking lot and drive isles, with a break in the continuity of the parking area paving and not the pedestrian access way [RPDG IX. 1 (C)(5)b].
- 2. Concrete walkway, minimum 6-foot width, shall be designed and constructed to connect the internal pedestrian routes (adjacent to building) to the multi-use trail to be designed and constructed by the City to the south and west of the site [RPDG IX. 1 (C)(7)] as discussed during pre-application meetings. This design shall be reviewed/approved by City staff and shall utilize the Wisconsin Bicycle Facilities Design Handbook for design standards and tolerances. Staff shall review/approve design.
- 3. Bicycle spaces shall be provided at a ratio of not less than 1 per 10 automobile spaces and be the “U Stand” or “Rounded A” design, or substantially similar, as described in *Altoona Municipal Code* Chapter 19.52.
 - i. Not less than 13 bicycle spaces shall be provided for Phase One (127 automobile spaces) and not less than 25 spaces shall be provided total (249 automobile spaces projected).

- ii. City staff recommends placing indoor bicycle storage for facility staff in an appropriate area, if possible, such as in the western stair column (under the stairs).

C. Landscaping [RPDG IX 6]

1. **A Landscape Plan that meets the River Prairie Design Guidelines and Standards shall be prepared and reviewed/approved by City Staff.** The City Council hereby specifically delegates review and approval authority to City Staff. The petitioner may appeal staff review decisions/conditions to the Plan Commission and City Council as a “minor amendment to the Specific Implementation Plan” per RPDG VIII 3.
 - i. Whereas: “All developments shall establish groves and belts of trees along all city streets, in and around parking lots, and in all landscape areas that are located within fifty (50) feet of any building or structure in order to establish at least a partial urban tree canopy. The groves and belts may also be combined or interspersed with other landscape areas in remaining portions of the development to accommodate views and functions such as active recreation and storm drainage” [RPDG IX 6 (D)].
 - ii. Whereas: “In approving the required landscape plan, the Council, with the Plan Commission’s input, shall have the authority to determine the optimum placement and interrelationship of required landscape plan elements such as trees, vegetation, turf, irrigation, screening, buffering and fencing [based upon 12 criteria]” [RPDG IX 6 (G)]
2. Foundation plantings shall be provided around the front (north) of the building at least three feet wide along not less than fifty percent of the frontage [RPDG IX 6 (E)(2)].
3. Parking lot islands shall be landscaped, including canopy shade trees, to maximize area of shading [RPDG IX 6 (E) (5)] not less than one per 150 sf² of island area. The parking lot islands shall feature appropriate and attractive plant selections, including appropriate selection of tree species.
4. Native canopy trees shall be planted between the parking area and Woodman’s Drive at not greater than 25-foot average spacing [RPDG IX 6 (D), (E), (G)].
5. Native canopy trees shall be planted in the parking area boulevard between the designated pedestrian walkway through the automobile drive isle at not greater than 25-foot average spacing [RPDG IX 6 (D), (E)(5), (G)].
6. Native canopy trees shall be planted along the western edge of the parking area at not greater than 40-foot spacing [RPDG IX 6 (D), (E), (G)] with species selection and placement in recognition of the slope.
7. Tree selection shall be native species with minimum diversity and planting size as illustrated in the RPDG [IX 6 (D)].
8. All planting areas shall be permanently irrigated, except those designed as xeriscaping [RPDG IX 6 (I)]. Water conservation strategies are strongly encouraged [RPDG IX 6 (E)(3)].
9. Any landscape element that dies, or is otherwise removed, shall be promptly replaced [RPDG IX 6 (H)].
10. Existing trees in the natural area buffer zone to the south of the proposed building shall be preserved to the extent reasonably feasible. The concrete walkway required to connect to the public multi-use trail may cross this area, and may also reasonably impact existing vegetation and immature/unhealthy tree specimens. Any proposed removal of mature trees, or land disturbing activities on the site shall be reviewed by City Staff. No land disturbing activities may be permitted within the critical root zone of mature specimens without specific review/approval [19.15.080; RPDG IX 6 (F)].

D. Building and Architectural Standards [RPDG IX 7]

1. The exterior façade design and materials shall establish a “base” that is consistent around the entire perimeter. This may be achieved by continuing the proposed stone materials around the building. “All facades shall have: a recognizable ‘base’ consisting of (but not limited to): (1) thicker walls, ledges or sills; (2) integrally textured materials such as stone or other masonry; (...) [RPDG IX 7.3 (D) 2 (A) 6a]. “All facades shall have: a recognizable ‘top’ consisting of (but not limited to): (1) cornice treatments, other than just colored ‘stripes’ or ‘bands’, with integrally textured materials such as stone or other masonry of differently colored materials; (2) sloping roof with overhangs and brackets; (3) stepped parapets” [RPDG IX 7.3 (D) 2 (A) 6b].
 - i. In pre-application consultation with the architecture team, City Staff understands that Prevea Health utilizes a branded architecture and materials package and finds that, overall and as a whole, the design approach as proposed **meets and satisfies** the stated intent of the River Prairie Design Guidelines in terms of achieving quality of design characteristics.
2. Any/all mechanical equipment, including roof-mounted units, shall be appropriately screened by building-compatible materials or landscaping [RPDG, IX 7 H].
3. All building and site signs shall be required to acquire sign permits and meet design requirements outlined in the River Prairie Design Guidelines, IX 5. Insufficient information provided in the SIP submittals (dimensions, total area calculations, design, lighting, etc.) for sign review and approval.
4. All exterior lighting on the site shall be of full cut-off design and be shielded to prevent spillover of direct light onto adjacent properties [*Altoona Municipal Code* 19.59.030 (H)].
5. The refuse enclosure shall be gated and constructed of materials substantially similar to those of the principal building façade [RPDG IX 7 H] and be screened with vegetation to the maximum degree practicable.

E. Utilities

1. Fire Department Connection (FDC) shall be 4” STORTZ and shall be located on the north face of the building. Final placement shall be reviewed and approved by Altoona Fire Department.
2. Private utilities, including electric transformers, shall be located such as to minimize impact on landscaping. Private electric service shall be located on private property under softscape, avoiding impacts on trees and major landscaping elements. City of Altoona reserves the right to review and approve location of electrical transformers and other visible fixtures.
3. Submittal and successful review of final *storm water plan* and *civil site plan* by City Engineer as described in the *Altoona Municipal Code* Chapter 14.

Building and construction permits shall not be issued unless construction plans are consistent with the Specific Implementation Plan approval conditions and maintain conformance with River Prairie Design Guidelines and Standards in all respects.



The proposed project will be a Medical Office Building, operated by Prevea Health. The clinical services within the building include Laboratory, Radiology, Neurology, Pain and Spine, Urgent Care, Internal Medicine, Ear, Nose and Throat, Pediatrics, OB-GYN, Primary Care, and Rotating Specialists. These services will be, in-part, the clinical offerings paralleled by the nearby Hospital services at Sacred Heart Hospital in Eau Claire, Wisconsin.

The suggested building location and form is long and linear, with the primary axis of the building parallel and nearest the southern property line, with the main entrance facing Woodman's Drive / River Prairie Drive.

The exterior materials for the proposed new Medical Office Building are a combination of face brick, glass, quarried stone and metal wall panel. The building's form, materials and textures are distinctive components of Prevea's architectural brand.

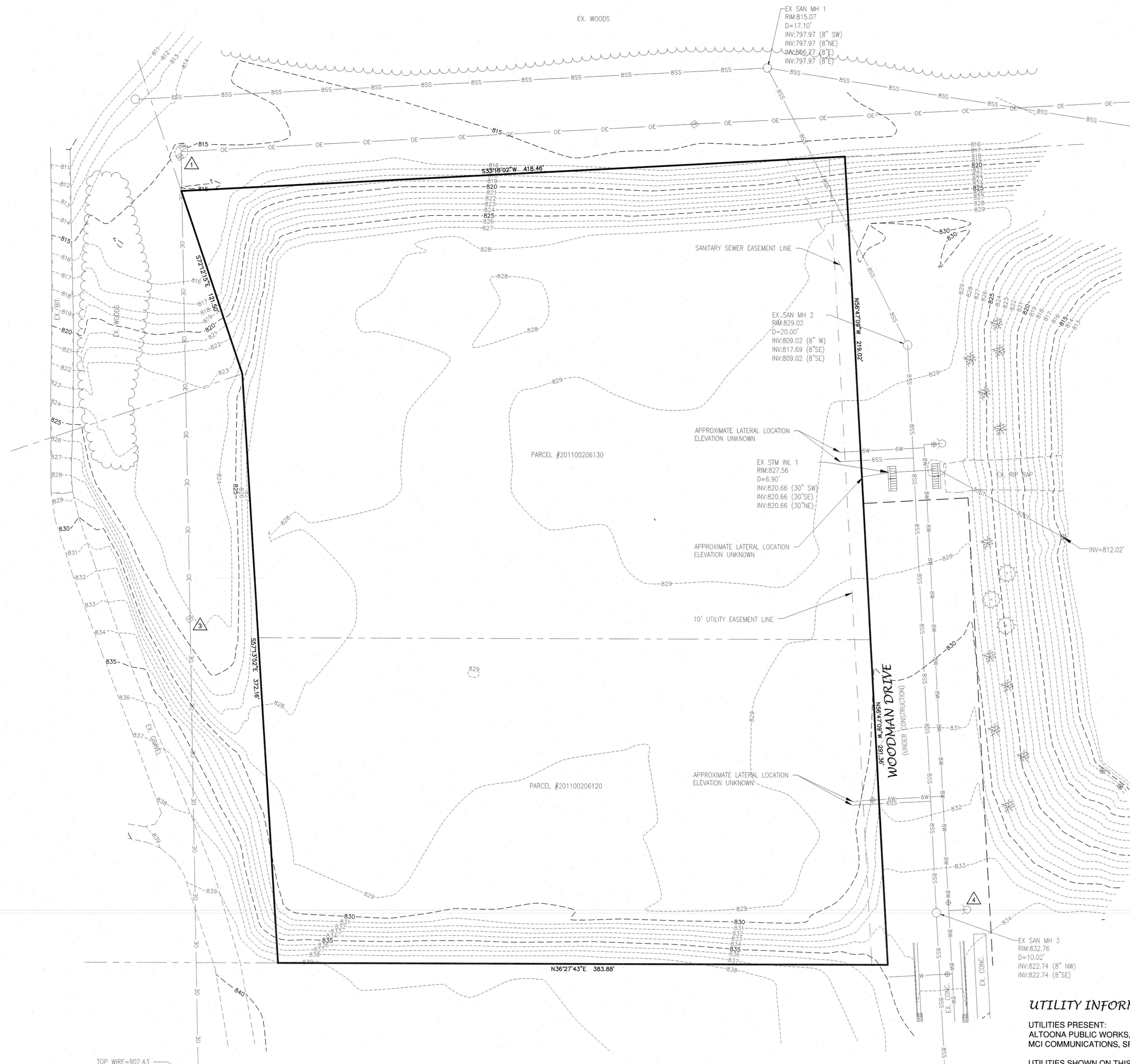
Other Prevea facilities, including Medical Office Buildings and Health Centers throughout the state, are built with the same style and architectural offerings as the proposed. There are developments and operational clinics in Mondovi, Rice Lake, Ladysmith, Menomonie, Eau Claire, Kohler, Sheboygan, Shawano, Manitowoc, Green Bay, Howard and quite a few confidential other developments – all of which offer a similar branded interior and exterior architecture.

At approximately 32,000 square feet, the proposed structure will stand two stories tall with the building parapet approx.. 31' above grade. The building is designed for future expansion to the east.

The primary structural forms are paralleled by the individual program components within the building. The double-height space of the entry sequence, clad mostly in north-facing glass and trimmed with stone and wall panel, is utilized to clearly identify a welcoming front door. A drive-up canopy offers protection for patients in adverse weather. Various specialty services and primary care offered within the structure are differentiated by dark, iron-spot, velour clay brick masonry and repetitive punched windows. Set back from the entry, it serves as a sturdy back-up to the glass and wall panel foreground. A solid stone base and strong stair tower anchor the various building components together. The Wisconsin native quarried limestone (Fond du lac) was selected to celebrate Prevea's interest in locally procured materials and longevity within a community. Together the various exterior elements and forms articulate the program, provide a sense of scale to the building, and unify Prevea's branded architecture throughout the state.

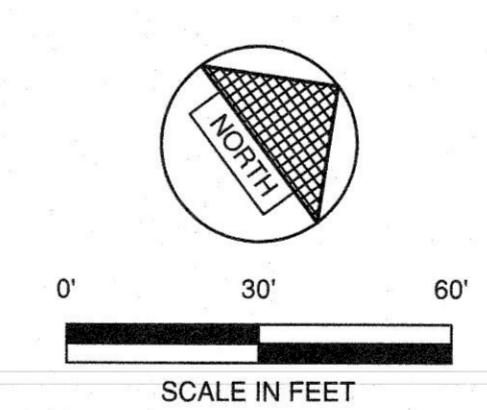






- ### LEGEND
- FIRE HYDRANT
 - WATER VALVE/CURB STOP
 - WATER MANHOLE
 - REDUCER/INCREASER
 - SANITARY MANHOLE
 - AIR RELIEF MANHOLE
 - STORM MANHOLE
 - OPEN STORM MANHOLE
 - STORM INLET
 - TANK COVER
 - SOIL BORING
 - POST
 - IRON PIPE/ROD
 - PK NAIL
 - POWER POLE
 - POWER POLE W/GUY WIRE
 - LIGHT POLE
 - TRAFFIC SIGNAL POLE
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - CABLE TV MANHOLE
 - CABLE TV PEDESTAL
 - GAS VALVE
 - GAS METER
 - MAILBOX
 - SIGN
 - BOLLARD
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - RIP RAP
 - CULVERT
 - CONCRETE
 - WETLANDS
 - HANDICAP PARKING
 - 8SS — 8SS — SANITARY SEWER (SIZE NOTED)
 - 4FM — 4FM — FORCEMAIN (SIZE NOTED)
 - 10ST — 10ST — STORM SEWER (SIZE NOTED)
 - 6W — 6W — 6W — WATERMAIN (SIZE NOTED)
 - G — G — GAS LINE
 - OT — OT — OVERHEAD TELEPHONE LINE
 - T — T — UNDERGROUND TELEPHONE LINE
 - OE — OE — OVERHEAD ELECTRIC LINE
 - E — E — UNDERGROUND ELECTRIC LINE
 - OTV — OTV — OVERHEAD CABLE TV LINE
 - TV — TV — CABLE TV LINE
 - FO — FO — FIBER OPTIC LINE
 - R/W — R/W — R/W LINE
 - — — — — PROPERTY LINE
 - — — — — EASEMENT LINE
 - — — — — BUILDING SETBACK LINE
 - — — — — SECTION LINE
 - VPC VERTICAL POINT OF CURVATURE
 - VPI VERTICAL POINT OF INTERSECTION
 - PT VERTICAL POINT OF TANGENCY
 - PC POINT OF CURVATURE
 - PI POINT OF INTERSECTION
 - PT POINT OF TANGENCY
 - R RADIUS
 - EX EXISTING
 - PR PROPOSED
 - EOB END OF RADIUS
 - BOC BACK OF CURB
 - B-B BACK TO BACK (OF CURB)
 - F-F FACE TO FACE (OF CURB)
 - R/W RIGHT OF WAY
 - T/C TOP OF CURB
 - F/L FLOW LINE
 - C/L CENTERLINE
 - R/L REFERENCE LINE
 - INV. INVERT
 - CMV CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - CULV. CULVERT

- GR. GRAVEL
- BIT. BITUMINOUS
- ASPH. ASPHALT
- CONC. CONCRETE
- SW SIDEWALK
- BLDG BUILDING
- HSE HOUSE
- PED PEDESTAL
- PP POWER POLE
- LP LIGHT POLE
- BM BENCH MARK
- WM WATERMAIN
- HYD. HYDRANT
- WV WATER VALVE
- SAN SANITARY SEWER
- MH MANHOLE
- ST STORM SEWER
- CB CATCH BASIN
- TELE TELEPHONE
- ELEC ELECTRIC
- TV TELEVISION
- STA. STATION
- VPC VERTICAL POINT OF CURVATURE
- VPI VERTICAL POINT OF INTERSECTION
- PT VERTICAL POINT OF TANGENCY
- PC POINT OF CURVATURE
- PI POINT OF INTERSECTION
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ALTOONA MEDICAL OFFICE BUILDING

PREVEA health
(STREET) | ALTOONA, WI | 54720

BERNERS SCHOBER

310 Pine Street | Green Bay, WI 54301 | 920-432-4865 | www.berniers-schober.com

REVISION	DATE

EXISTING SITE CONDITIONS

C101 DATE: JULY 2018
COMMISSION: 5859.00

OWNER INFORMATION:
PREVEA CLINIC, INC
2710 EXECUTIVE DR
GREEN BAY, WI 54303-1902
(920) 431-1902
CONTACT: JOHN ZELLER

ARCHITECT INFORMATION:
BERNERS SCHOBER
310 PINE STREET
GREEN BAY, WI 54301
(920) 569-8664
CONTACT: STEVE SRUBAS, AIA

BENCHMARK	BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.	
	DESCRIPTION	EL.
△	TOP OF BOLT STAMPED "3102"	817.49
△	NAIL IN POWER POLE	817.50
△	NAIL IN POWER POLE	825.65
△	TAB BOLT ON FIRE HYDRANT	835.74
△	NAIL IN POWER POLE	842.02

UTILITY INFORMATION:

UTILITIES PRESENT:
ALTOONA PUBLIC WORKS, EAU CLAIRE WATER AND SEWER, XCEL ENERGY, INC., AT & T, CHARTER COMMUNICATIONS, MCI COMMUNICATIONS, SPRINT AND LEVEL 3 COMMUNICATIONS.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:
DIGGERS HOTLINE TICKET NUMBER 20181607840 AND 20181607846, BOTH DATED 04/29/2018, VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

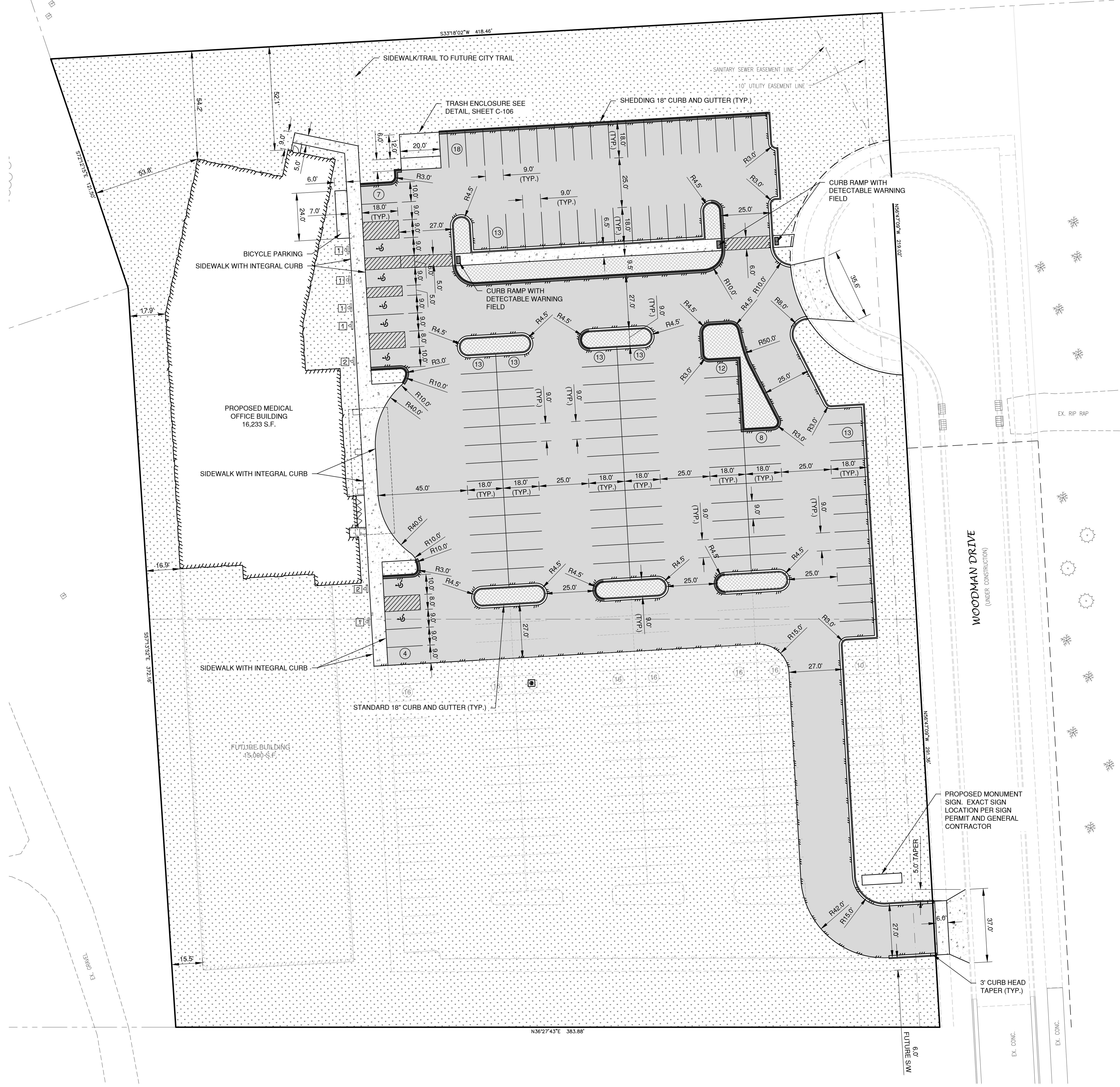
DIGGERS HOTLINE = 1-800-242-8511

SEWER AND WATER: ALTOONA PUBLIC WORKS 1303 LYNN AV ALTOONA, WI 54720 (715) 839-1629	SEWER AND WATER: EAU CLAIRE WATER AND SEWER 910 FOREST ST EAU CLAIRE, WI 54703 (715) 839-5045	GAS AND ELECTRIC XCEL ENERGY, INC. 1099 18TH ST, SUITE 3000 DENVER, CO 80202 (800) 895-4999	TELECOMMUNICATIONS: AT & T / SBC 205 S. JEFFERSON ST. GREEN BAY, WI 54301 (920) 433-4147
TELECOMMUNICATIONS: MCI COMMUNICATIONS 22001 LOUDOUN COUNTY PKWY ASHBURN, VA 20147 (800) 444-3333	TELECOMMUNICATIONS: CHARTER COMMUNICATIONS 3315 S. LINCOLN AV. TWO RIVERS, WI 54241 (920) 793-2216	TELECOMMUNICATIONS: SPRINT 6200 SPRINT PKWY OVERLAND PARK, KS 66251 (888) 221-4727	TELECOMMUNICATIONS: LEVEL 3 COMMUNICATIONS 1025 ELDORADO BL BROOMFIELD, CO 80021 (720) 888-1000

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

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071818



LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT (56,625 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER (UNLESS OTHERWISE NOTED)
- PROPOSED 18" SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

SITE DATA (PROPOSED)
 TOTAL AREA = 4.46 ACRES, 194,325 S.F.
 BUILDING AREA = 0.37 ACRES, 16,233 S.F. (8.3%)
 SIDEWALK/PARKING LOT AREA = 1.55 ACRES, 67,551 S.F. (34.8%)
 GREEN SPACE = 2.54 ACRES, 110,541 S.F. (56.9%)

SITE DATA (FUTURE)
 TOTAL AREA = 4.46 ACRES, 194,325 S.F.
 BUILDING AREA = 0.72 ACRES, 31,233 S.F. (16.1%)
 SIDEWALK/PARKING LOT AREA = 2.26 ACRES, 98,492 S.F. (50.7%)
 GREEN SPACE = 1.48 ACRES, 64,600 S.F. (33.2%)

NOTE
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA - PROPOSED
 TOTAL PARKING STALLS PROVIDED = 127 (249 TOTAL W/ FUTURE)
 HANDICAP ACCESSIBLE PARKING STALLS = 7
 TOTAL PARKING STALLS REQUIRED:
 MAX = 1 STALL PER 200 SF = 127 X 30,377 = 152
 MIN = 1 STALL PER 400 SF = 63 X 30,377 = 77

ZONING
 RPMU - RIVER PRAIRIE MIXED-USE DISTRICT

PARCEL NO.
 201100206130 AND 201100206120
 (TO BE COMBINED THROUGH CSM)



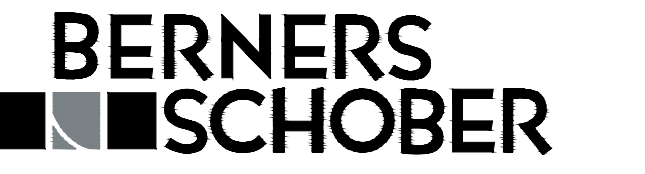
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IN-PROGRESS SET

ALTOONA MEDICAL OFFICE BUILDING



(STREET) | ALTOONA, WI | 54720



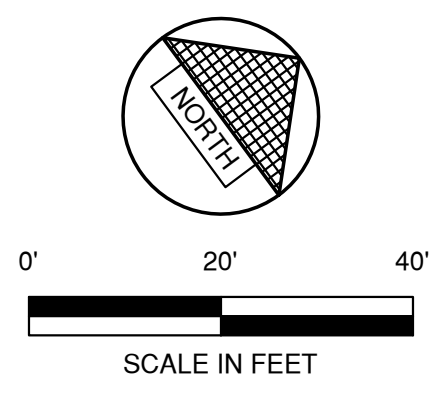
310 Pine Street | Green Bay, WI 54301 | 920-432-4865 | www.berniers-schober.com

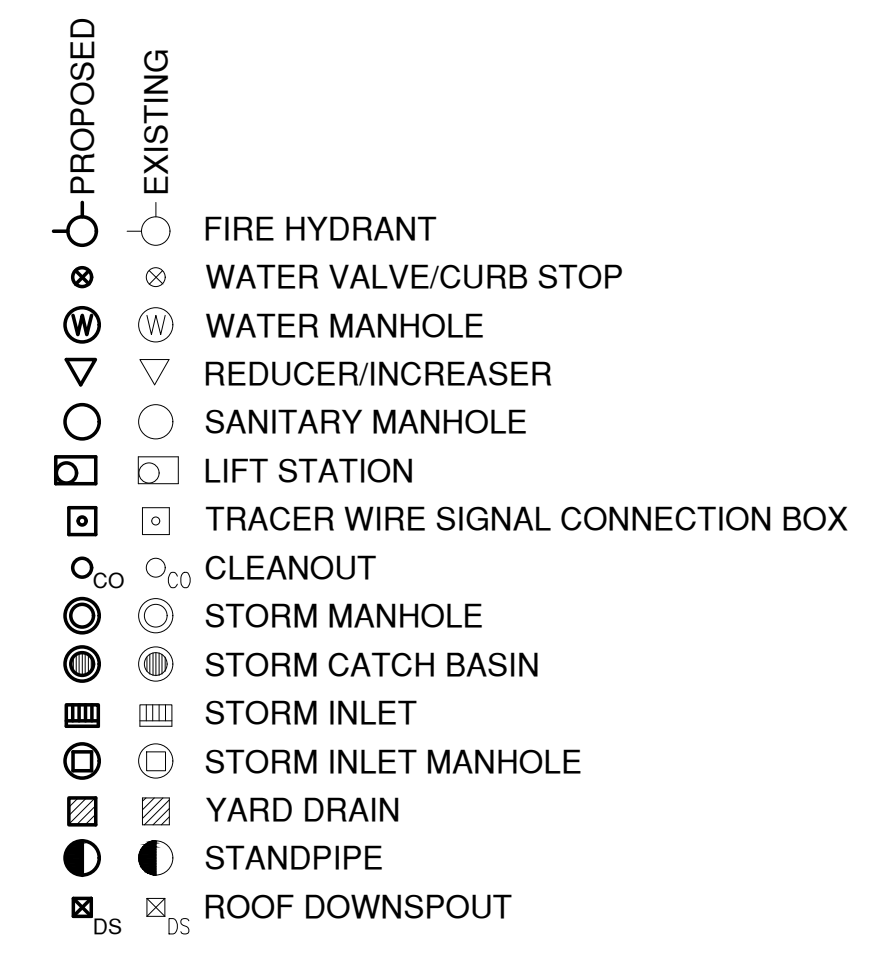
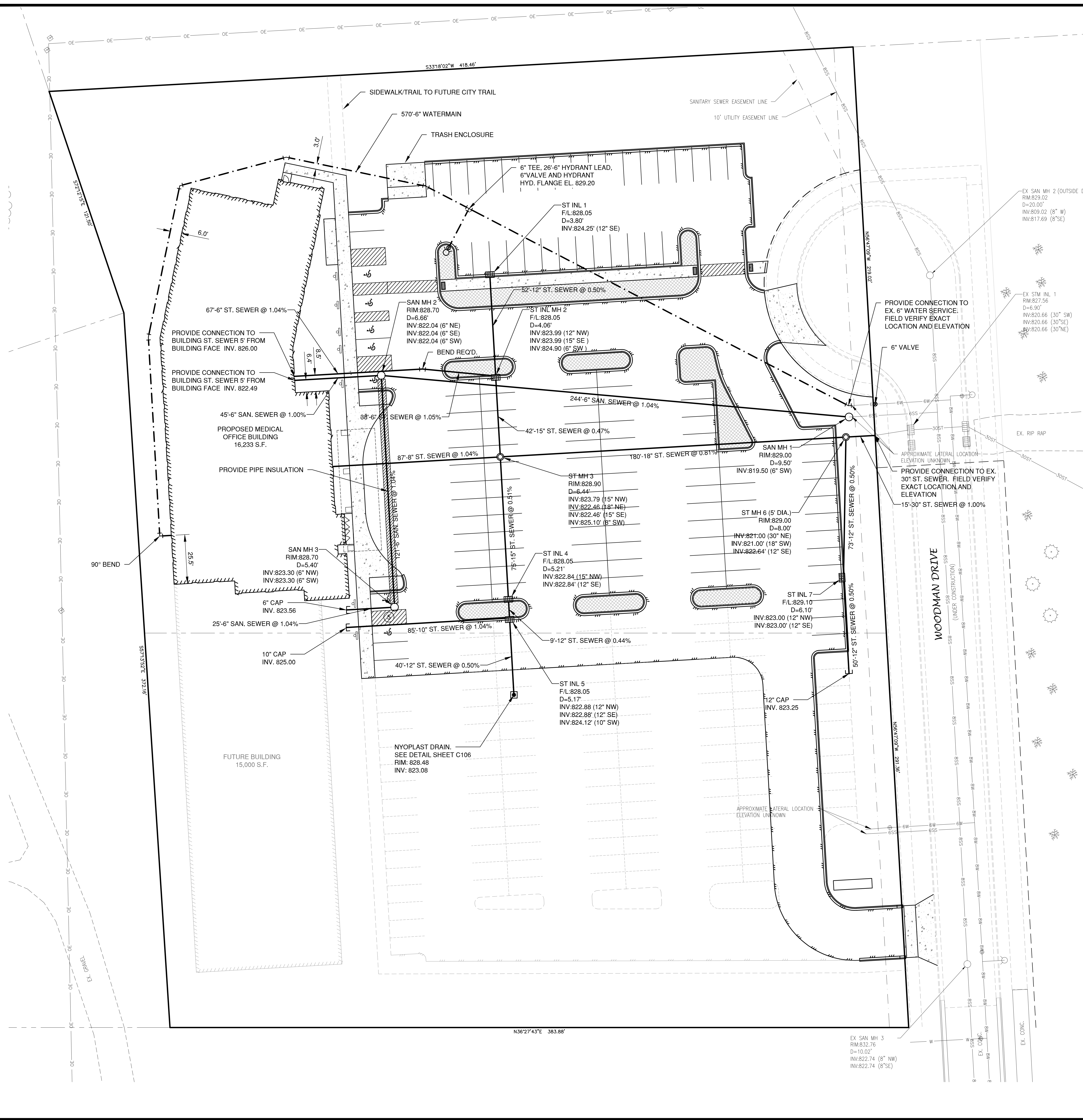
REVISION	DATE

SITE PLAN

C102
 DATE: JULY 2018
 COMMISSION
5859.00

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- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



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IN-PROGRESS SET

ALTOONA MEDICAL OFFICE BUILDING

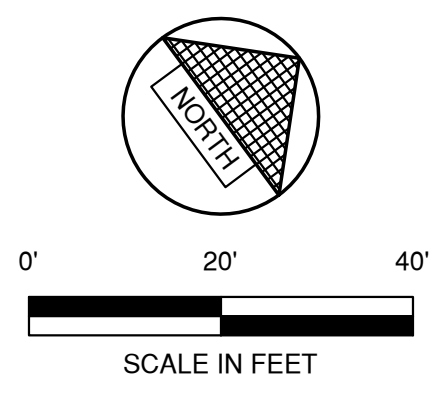


(STREET) | ALTOONA, WI | 54720

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REVISION	DATE

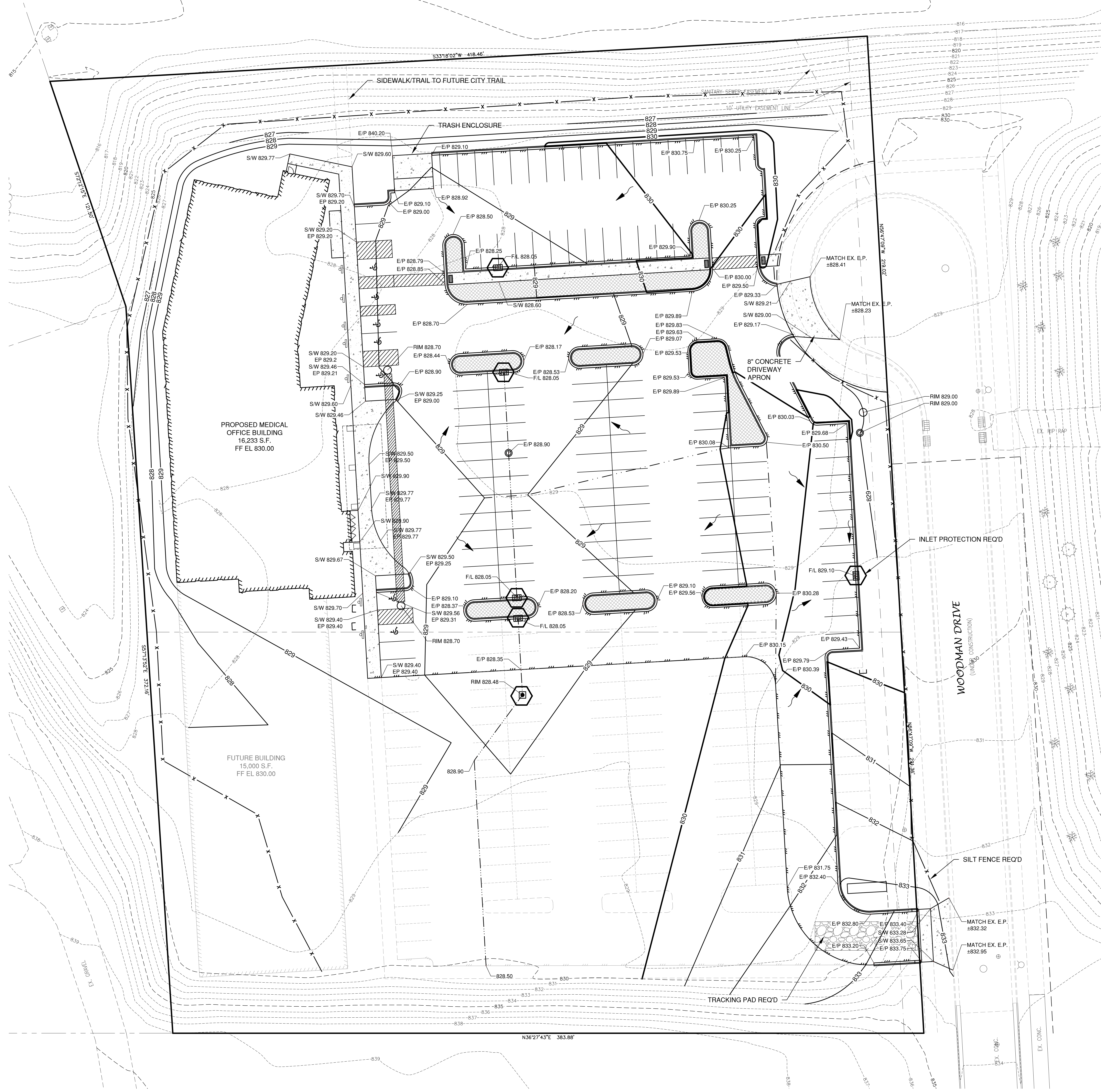


UTILITY PLAN

C103

DATE: JULY, 2018
COMMISSION
5859.00

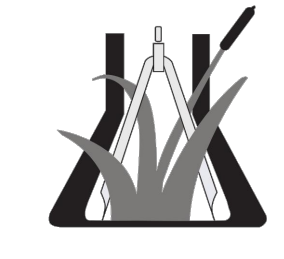
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LEGEND

- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- TOP OF SIDEWALK ELEVATION
- EDGE OF PAVEMENT ELEVATION
- TOP OF RETAINING WALL ELEVATION
- GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- SILT FENCE
- BALE DITCH CHECK
- FLOW ARROW
- TRACKING PAD
- INLET PROTECTION

- EROSION CONTROL**
- ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.
- SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
 - A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
 - PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
 - ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



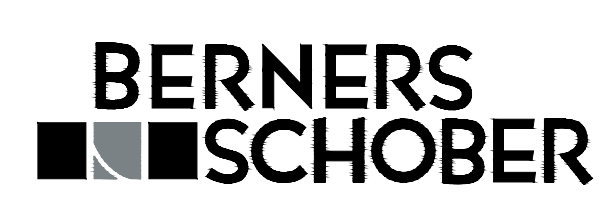
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IN-PROGRESS SET

ALTOONA MEDICAL OFFICE BUILDING



(STREET) | ALTOONA, WI | 54720



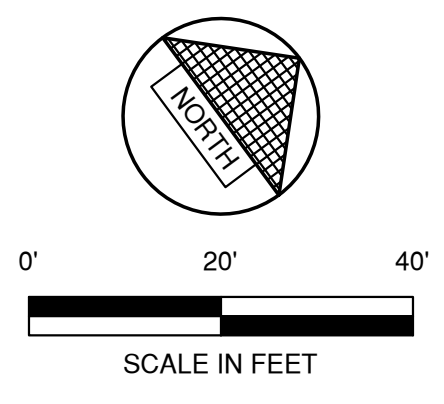
310 Pine Street | Green Bay, WI 54301 | 920-432-4865 | www.berniers-schober.com

REVISION	DATE

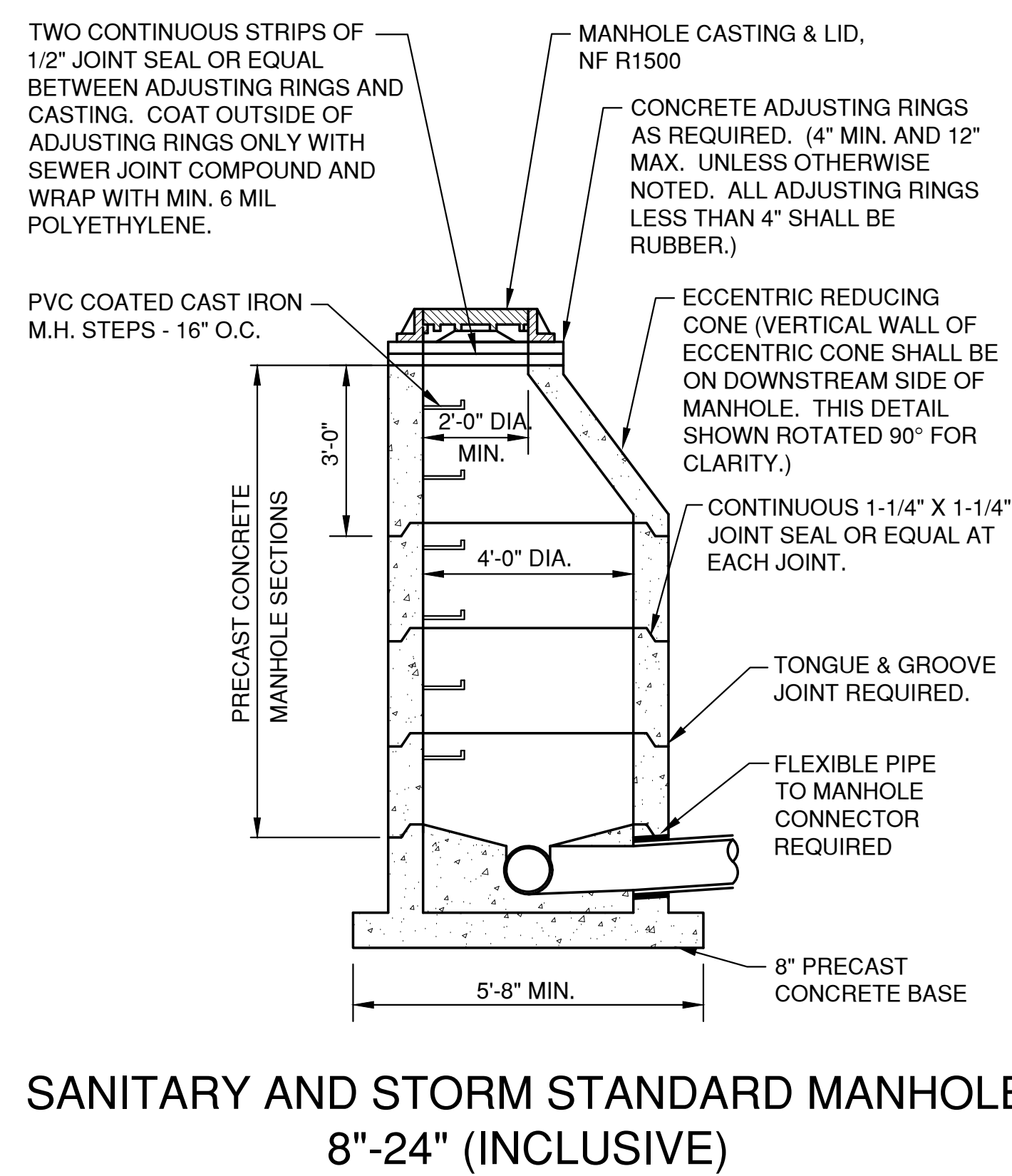
GRADING AND EROSION CONTROL PLAN

C104

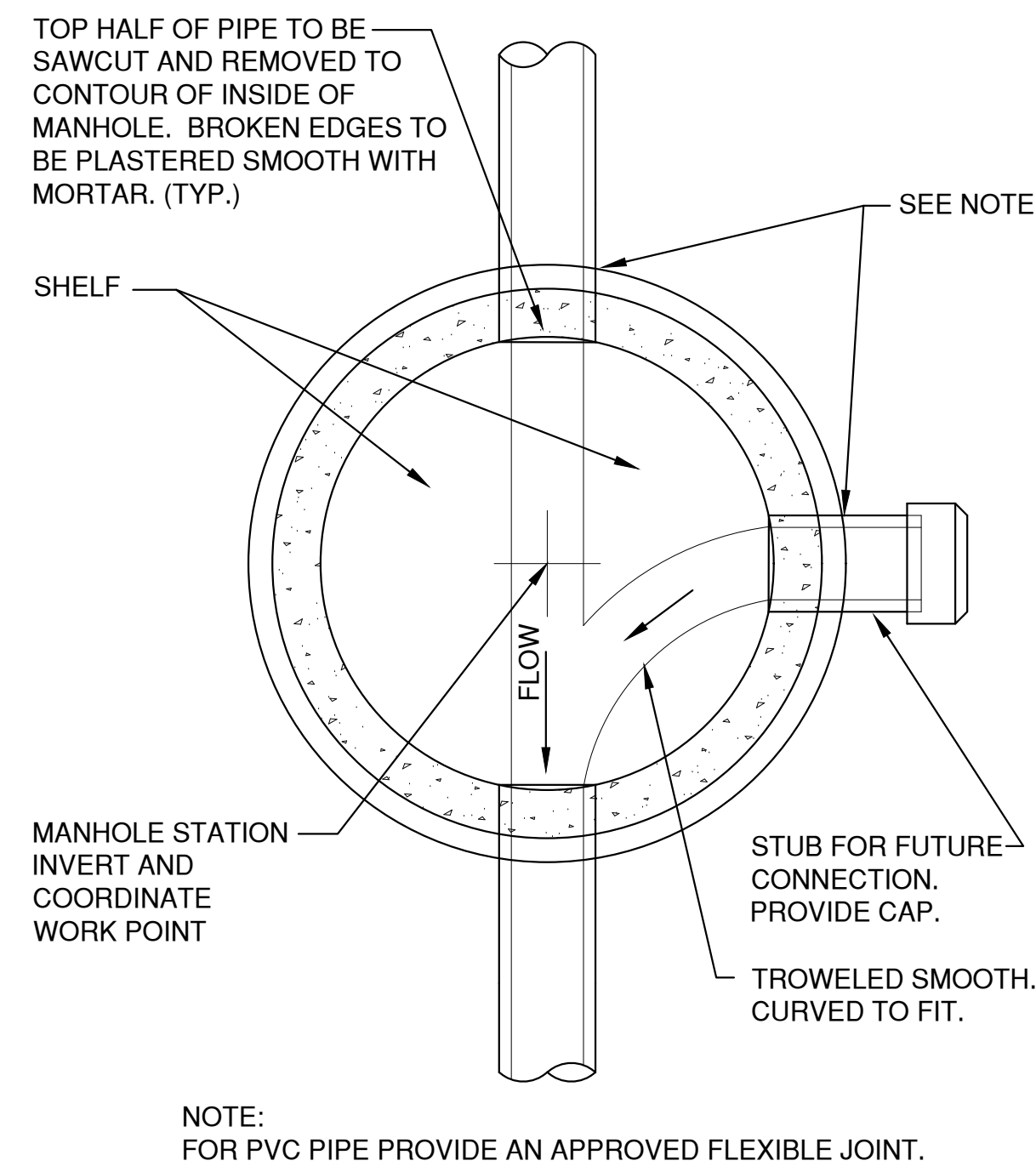
DATE: JULY, 2018
COMMISSION
5859.00



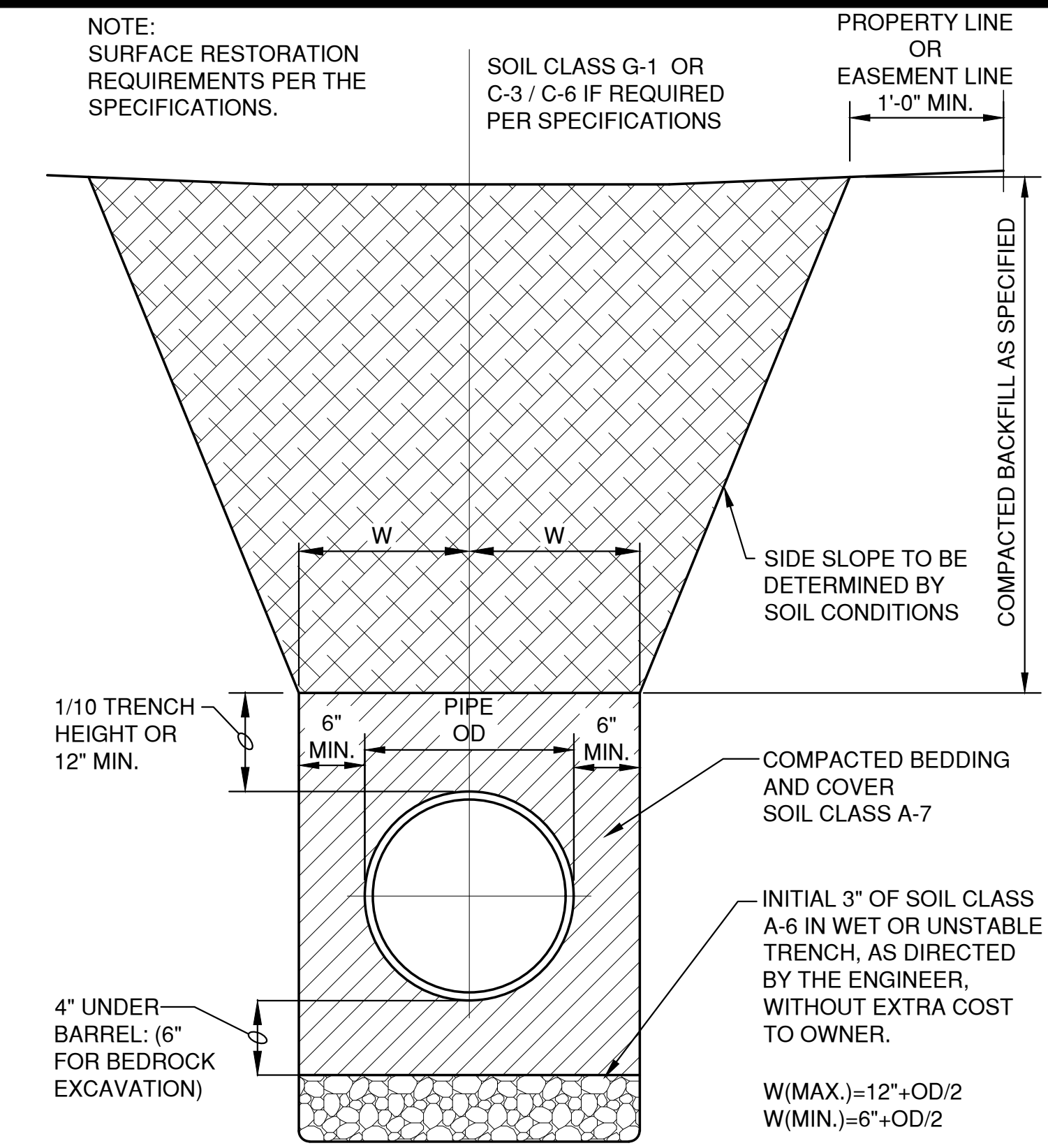
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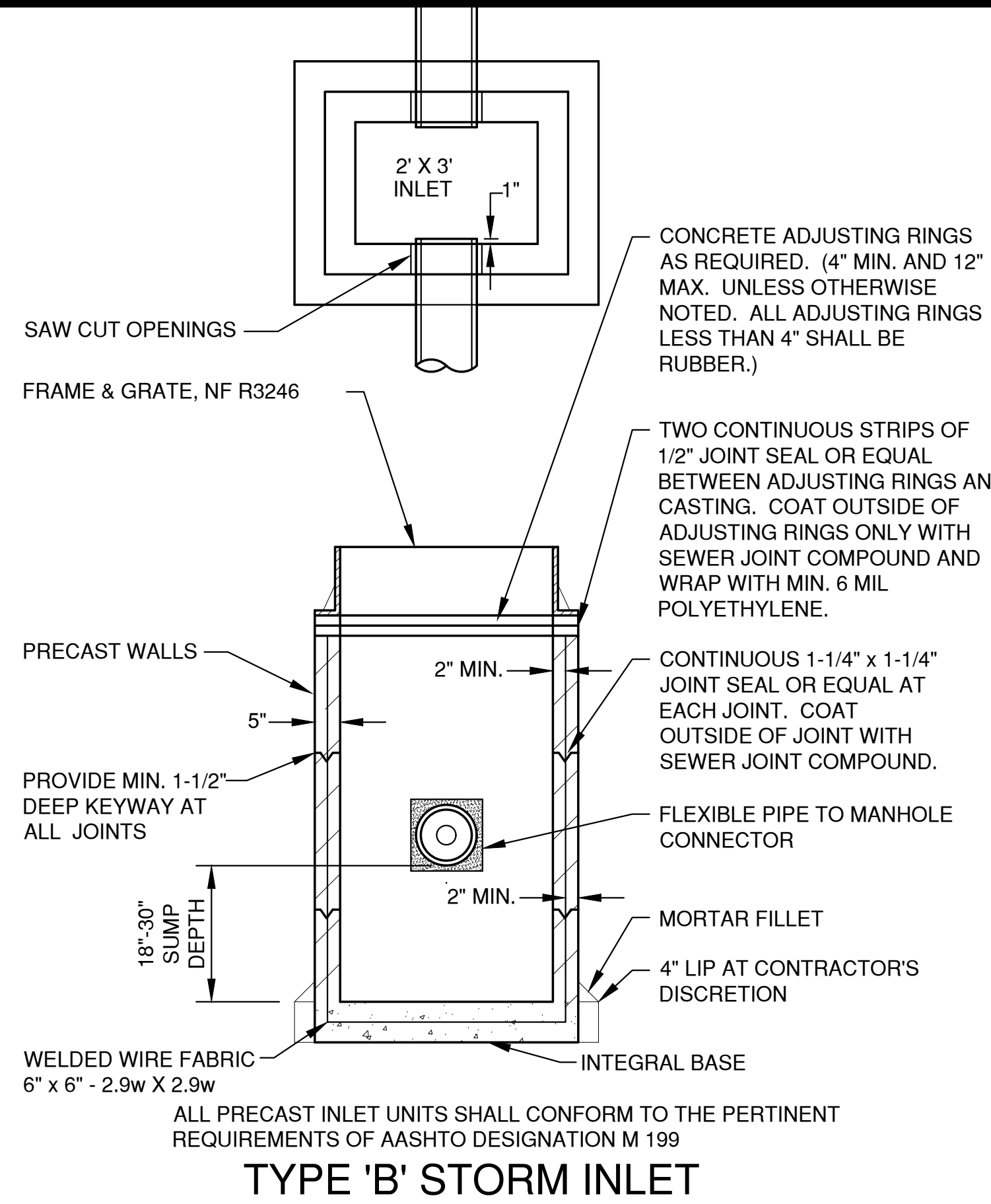
**SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)**



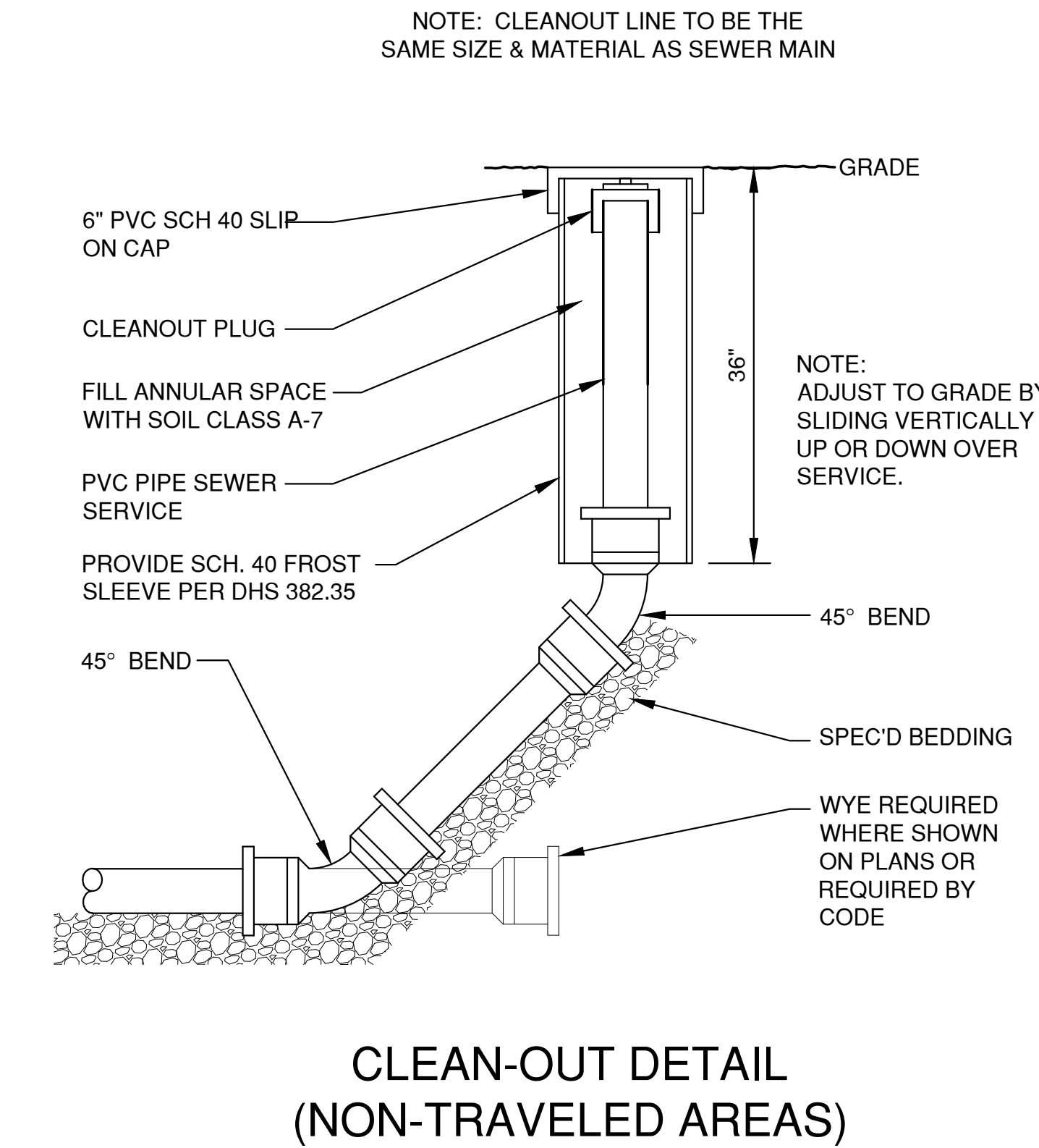
**MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)**



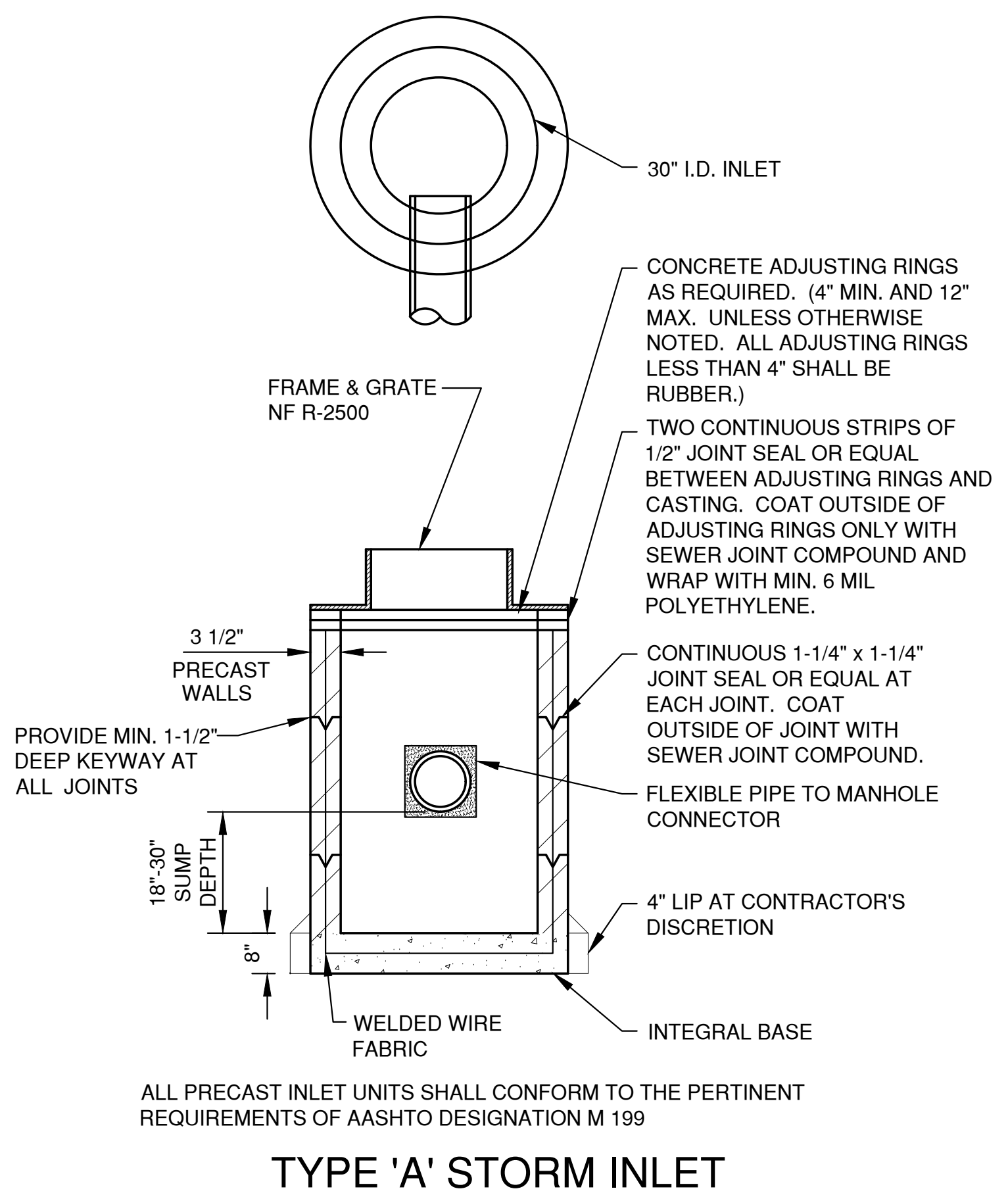
**HDPE / PVC SEWER & WATERMAIN & FORCEMAIN
BEDDING & TRENCH SECTION**



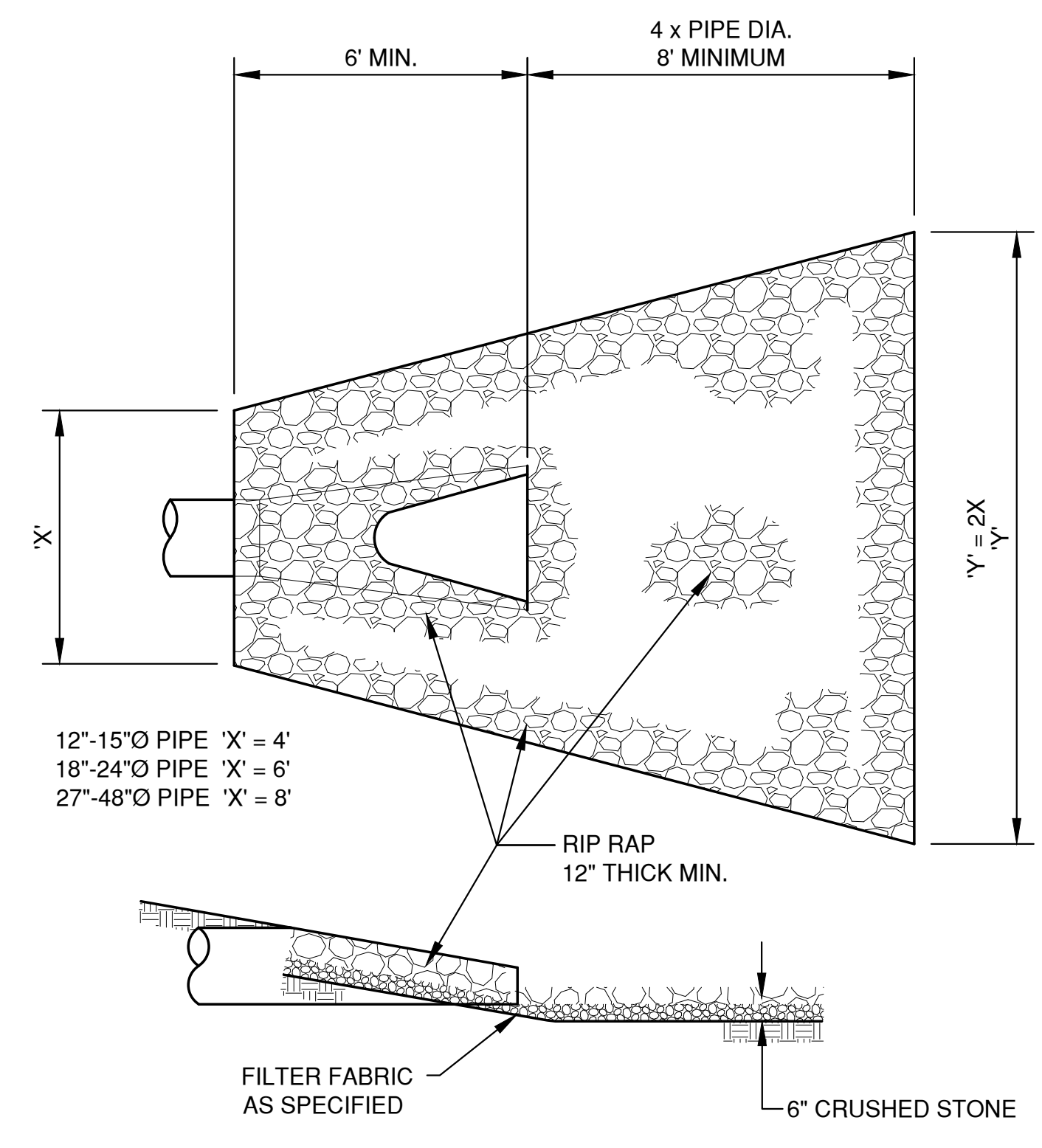
TYPE 'B' STORM INLET



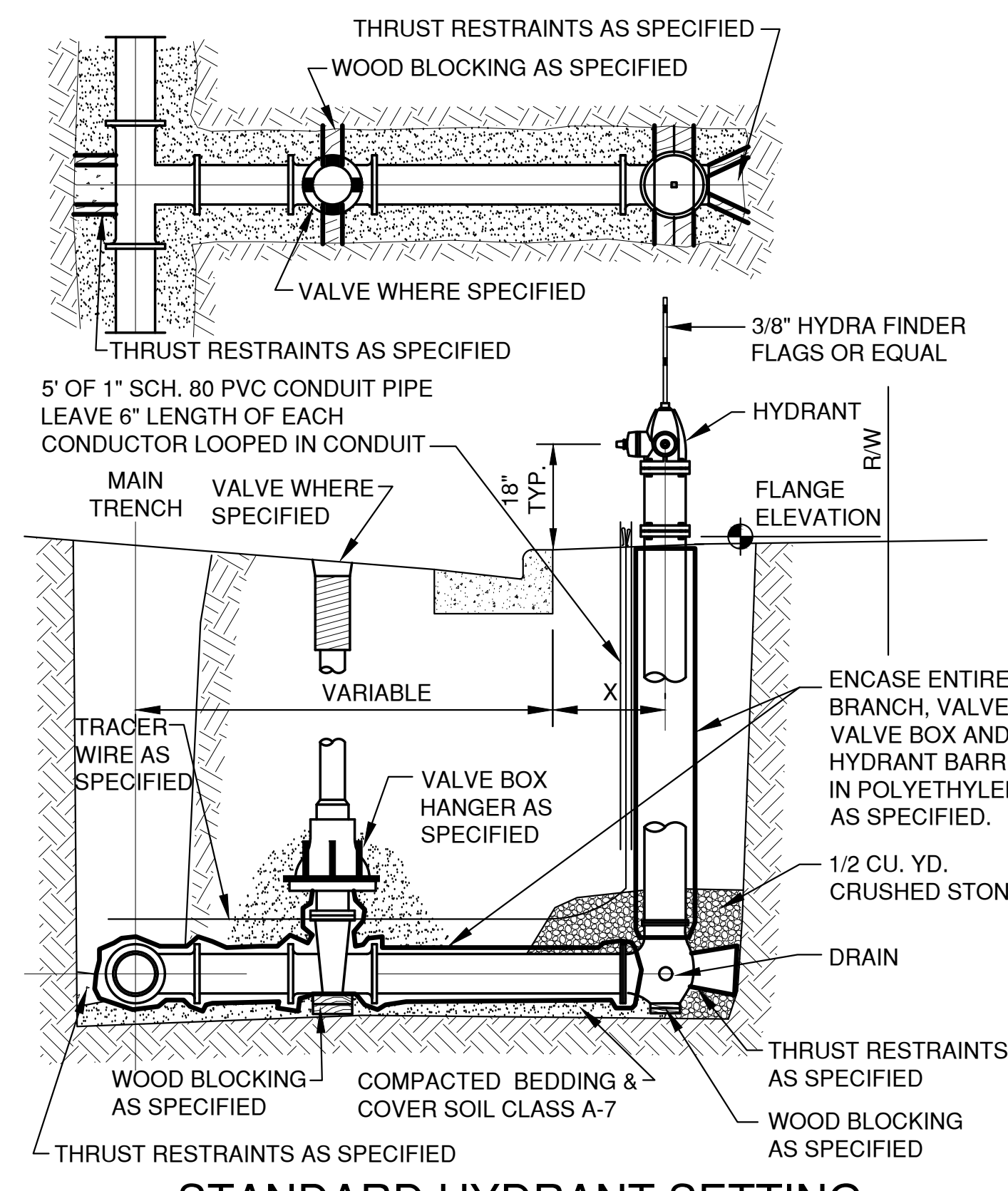
**CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)**



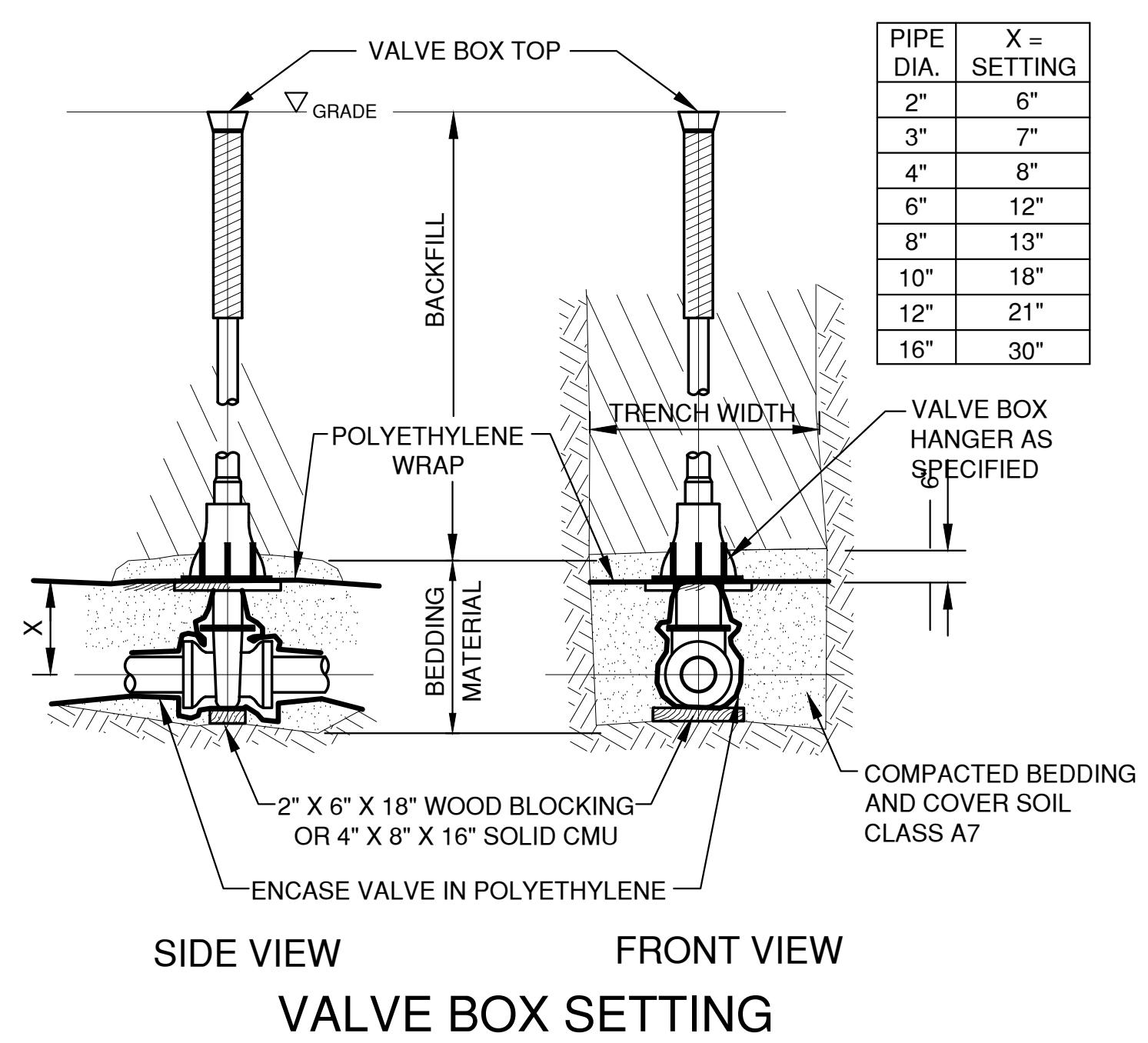
TYPE 'A' STORM INLET



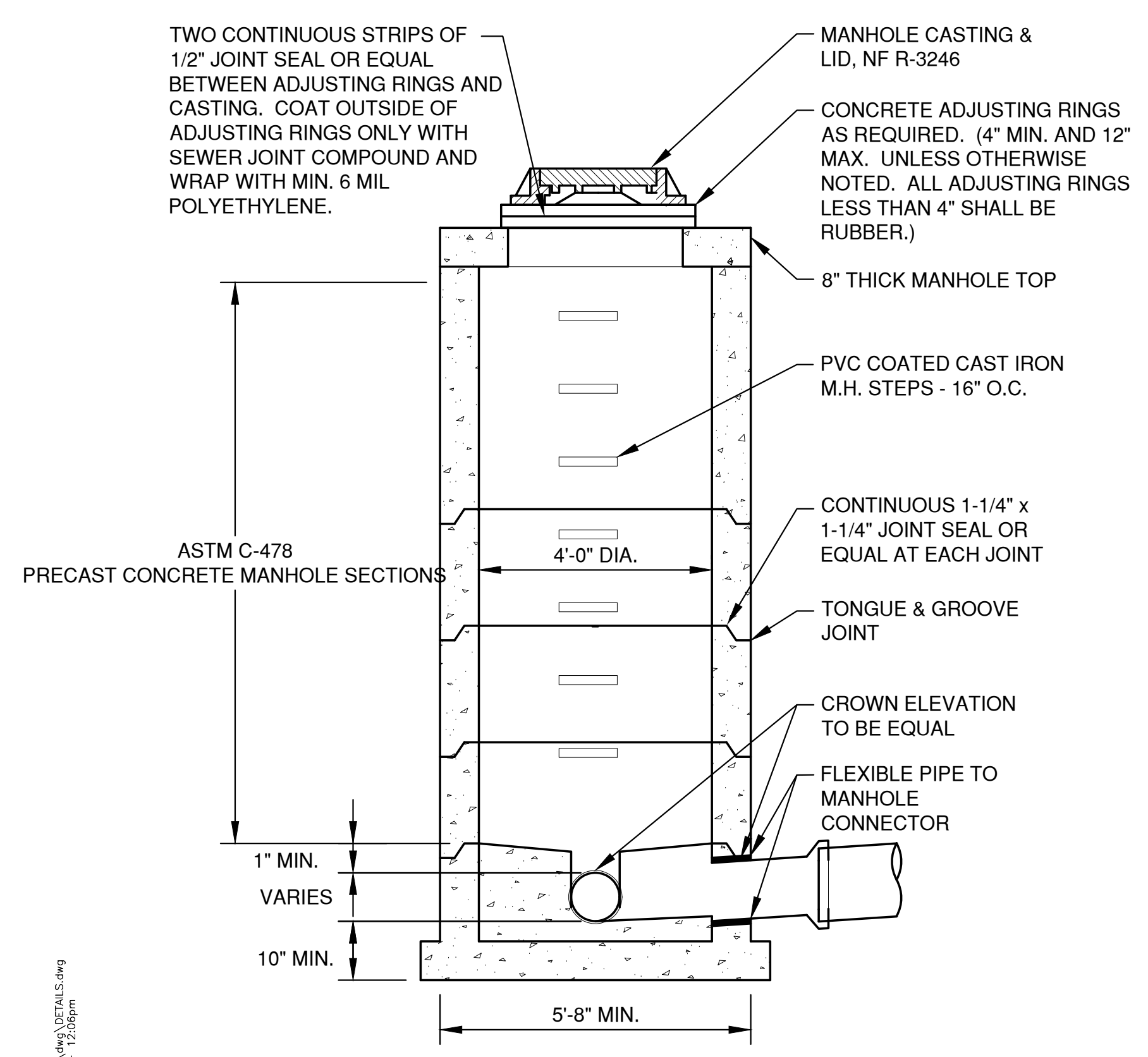
ENDWALL RIP RAP DETAIL



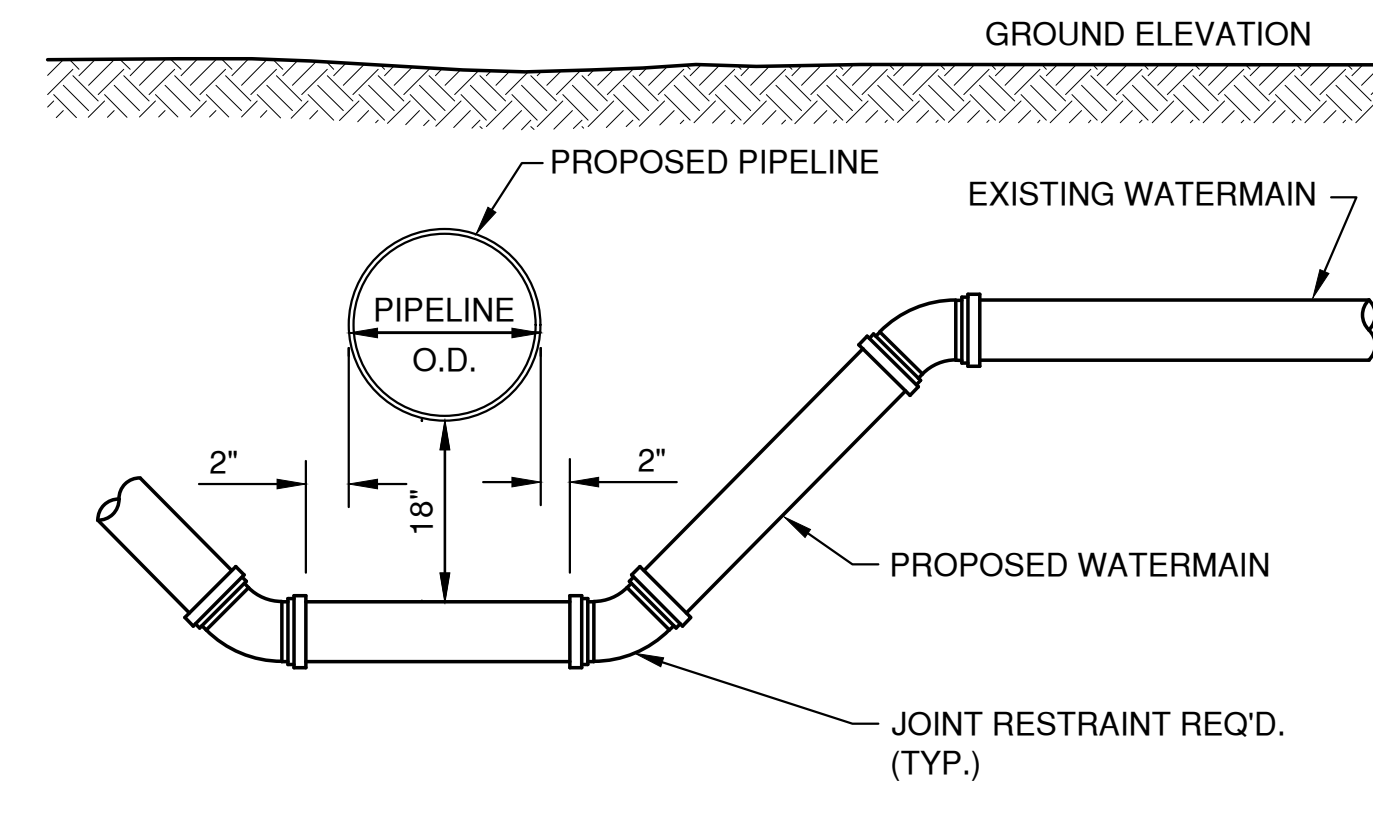
**STANDARD HYDRANT SETTING
CURB SECTION**



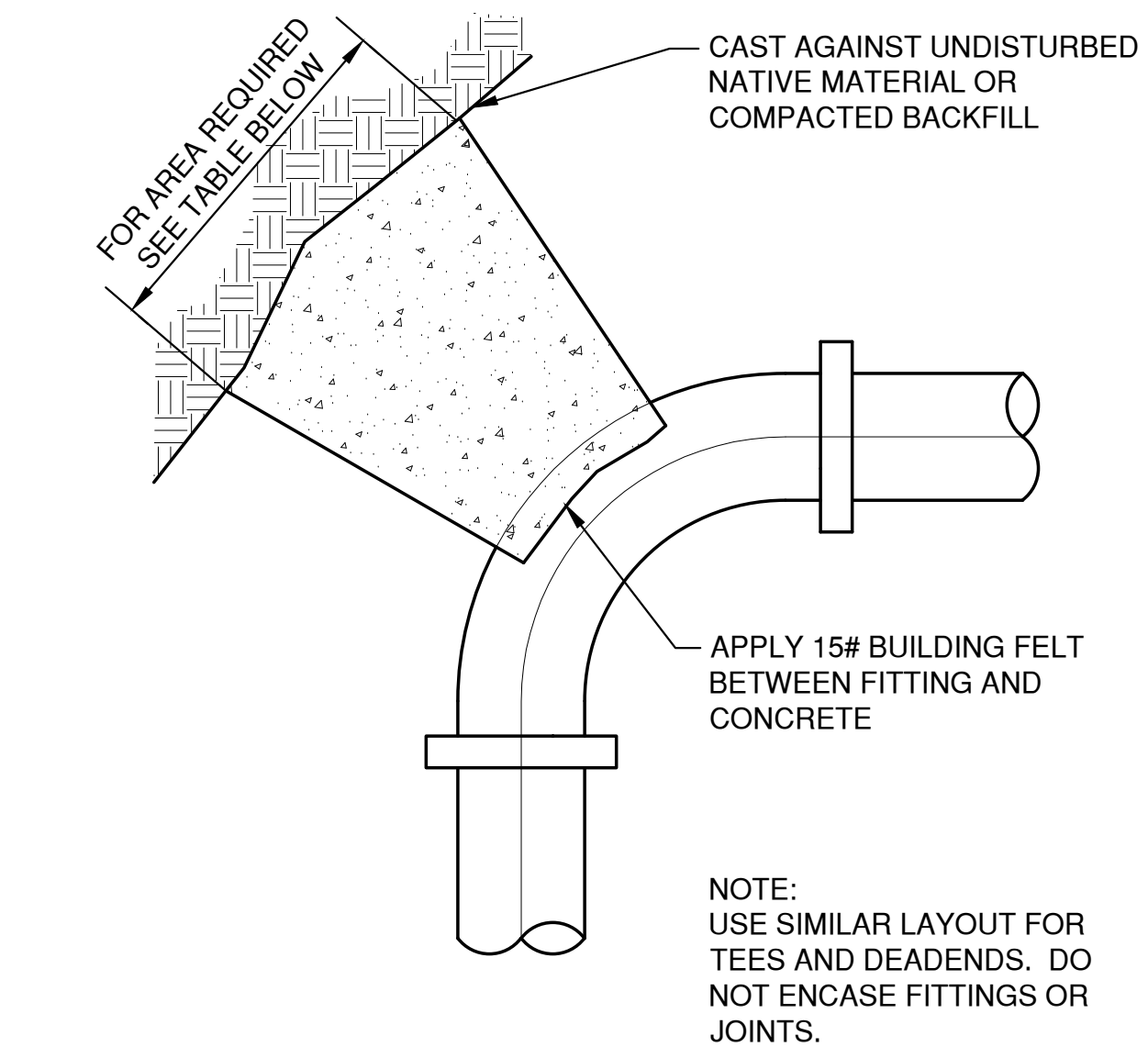
**SIDE VIEW FRONT VIEW
VALVE BOX SETTING**



**STORM MANHOLE INLET
TYPE "B"**



DETAIL FOR WATERMAIN OFFSET



TYPICAL THRUST BLOCK

THRUST BLOCK AREA REQUIREMENTS, S.F.					
DEGREE OF BEND	4" PIPE	6" PIPE	8" PIPE	10" PIPE	12" PIPE
5° TO 22.5°	1.0	1.0	2.0	3.0	4.0
23° TO 45°	1.0	2.0	4.0	6.0	8.0
46° TO 90°	2.0	4.0	7.0	11.0	15.0
TEE OR DEAD END	2.0	3.0	5.0	8.0	10.0

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IN-PROGRESS SET

ALTOONA MEDICAL OFFICE BUILDING

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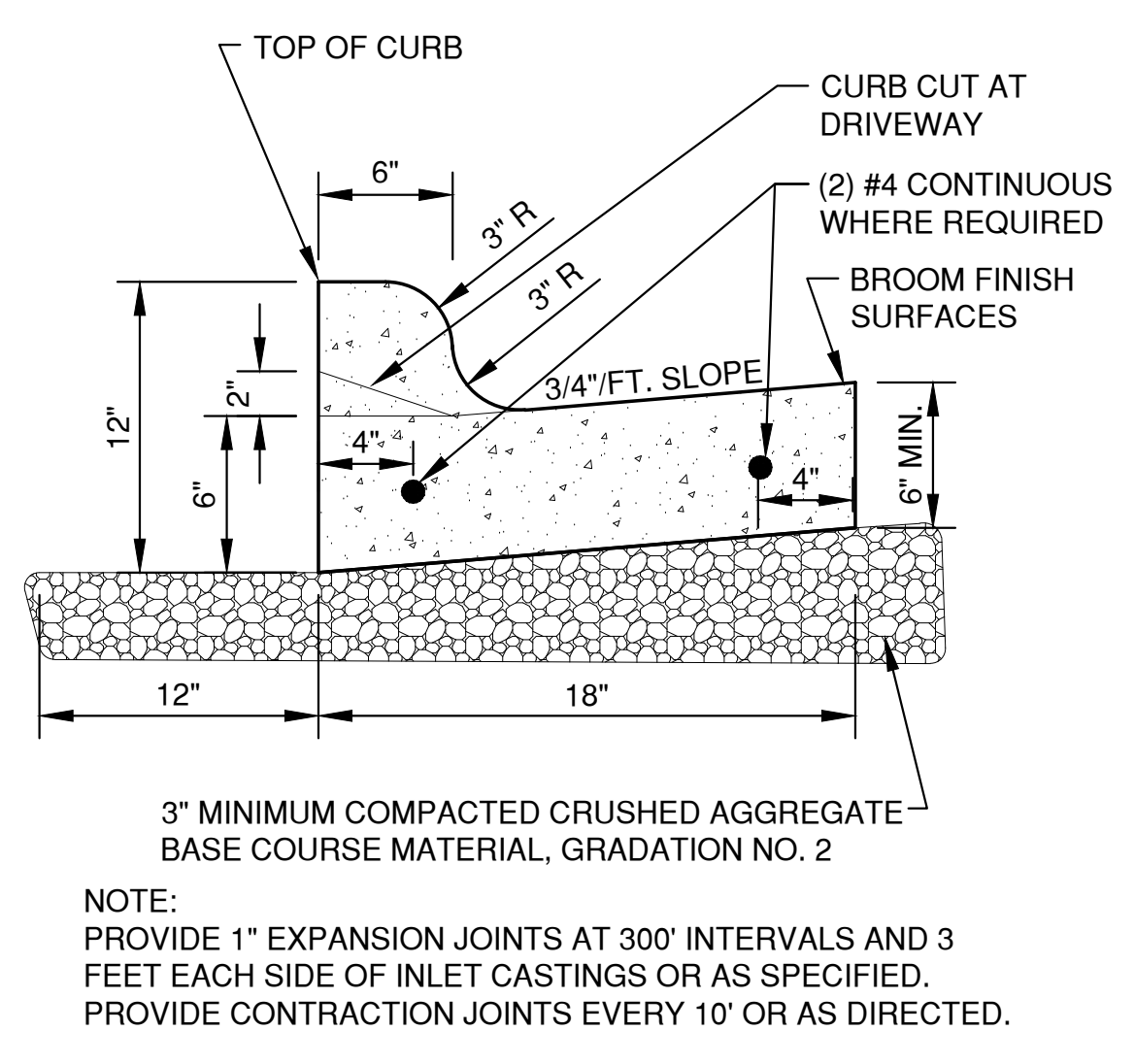
REVISION	DATE:

MISCELLANEOUS DETAILS

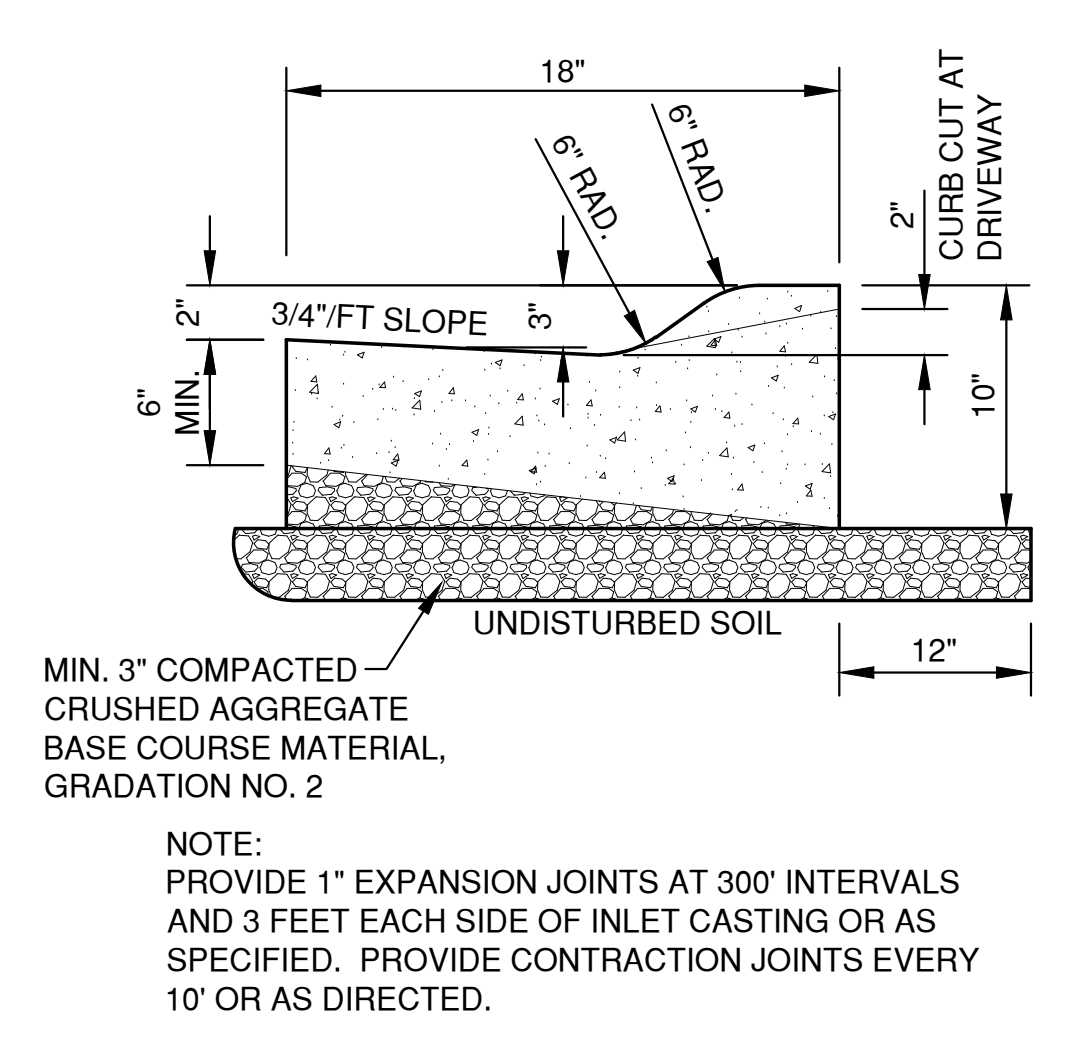
C105

DATE: JULY 2018
COMMISSION
5859.00

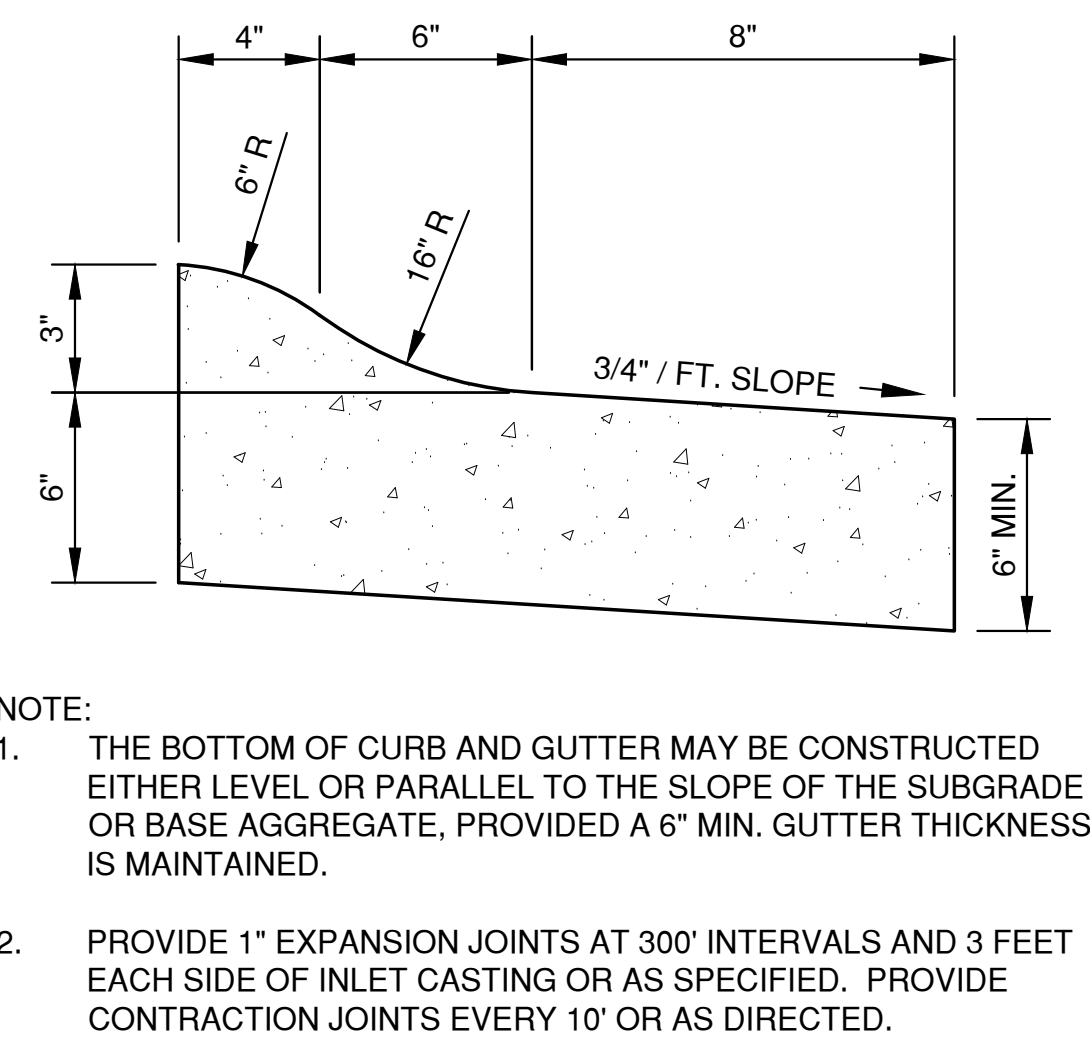
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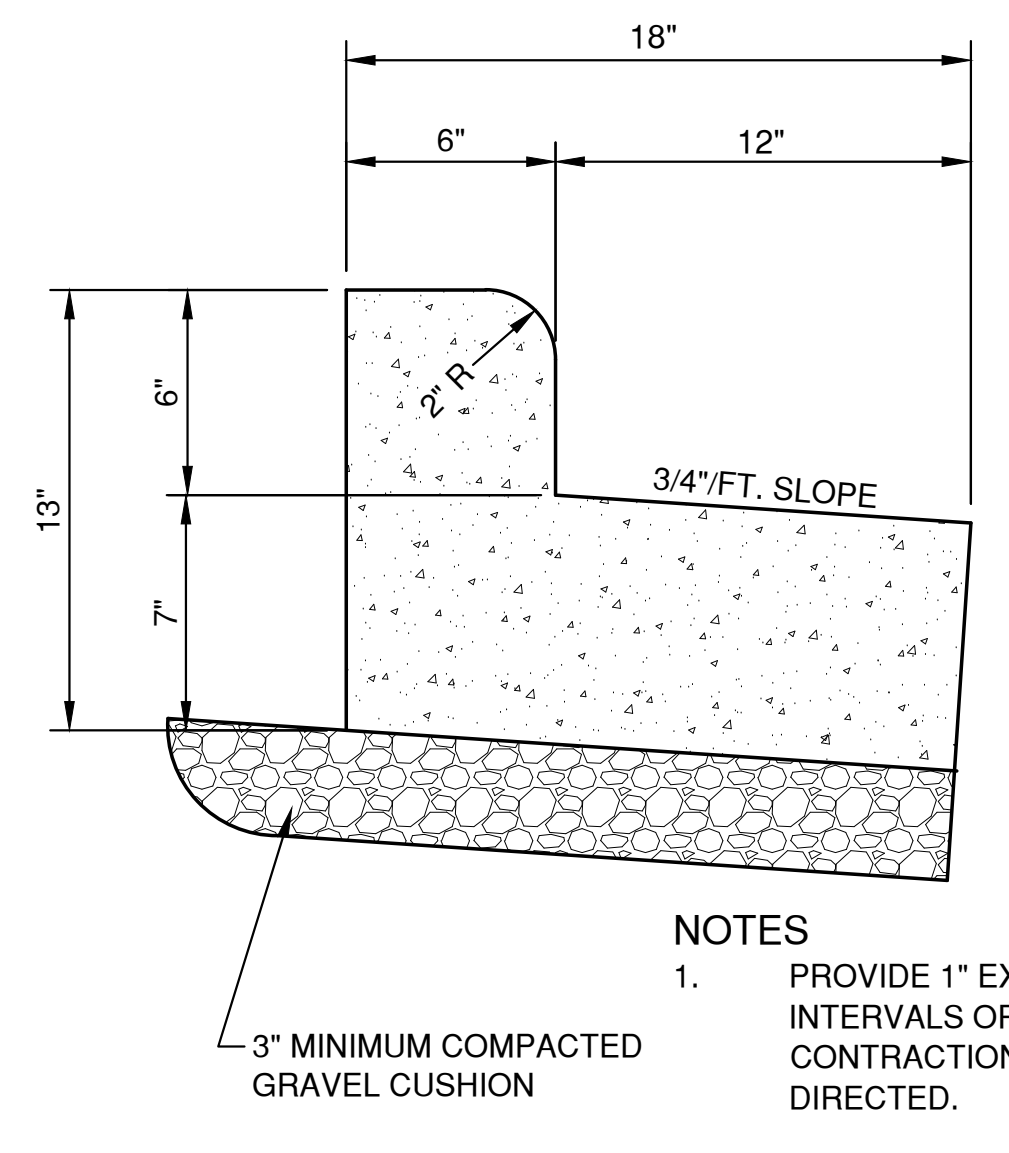
STANDARD CURB & GUTTER



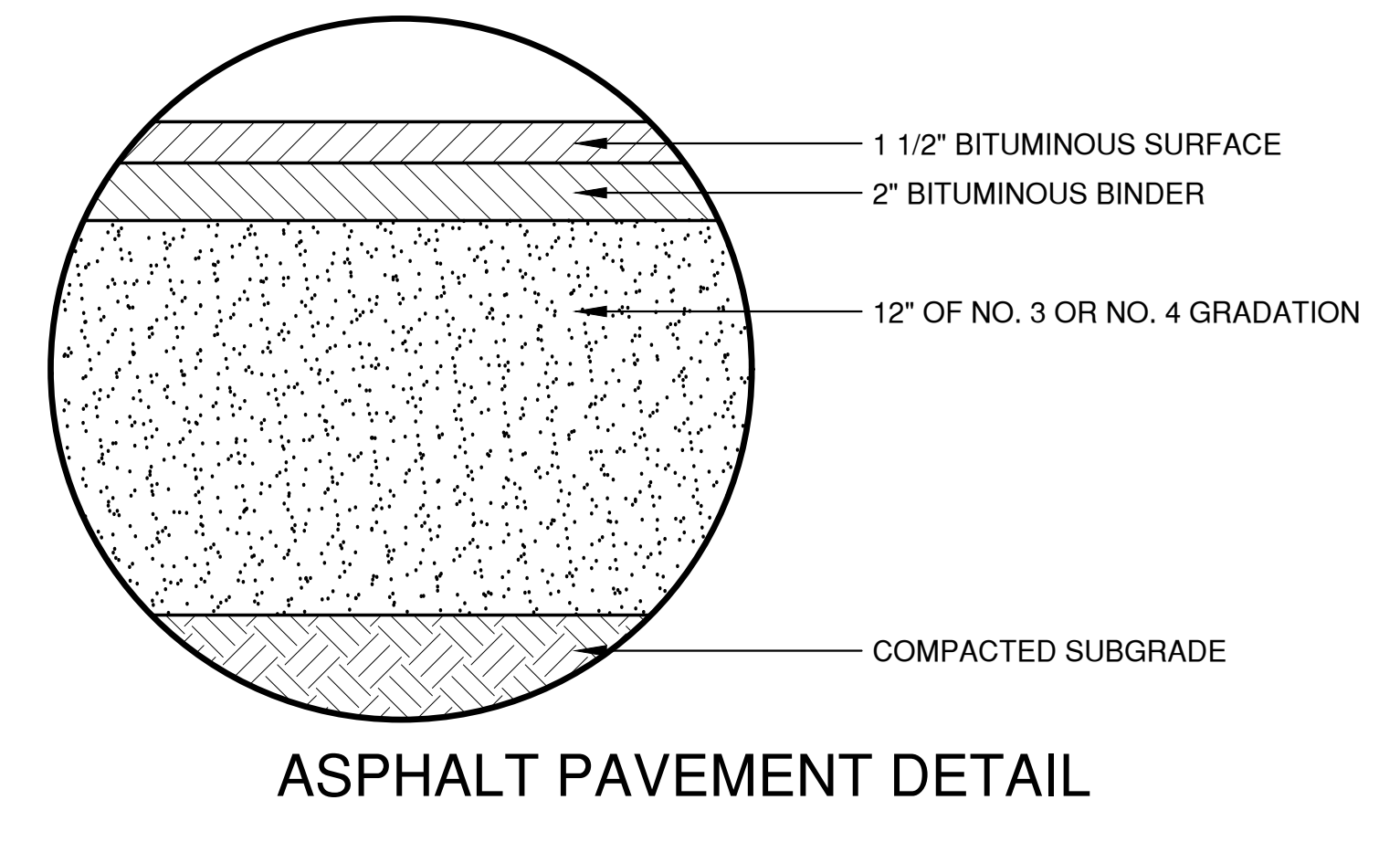
MOUNTABLE CURB AND GUTTER



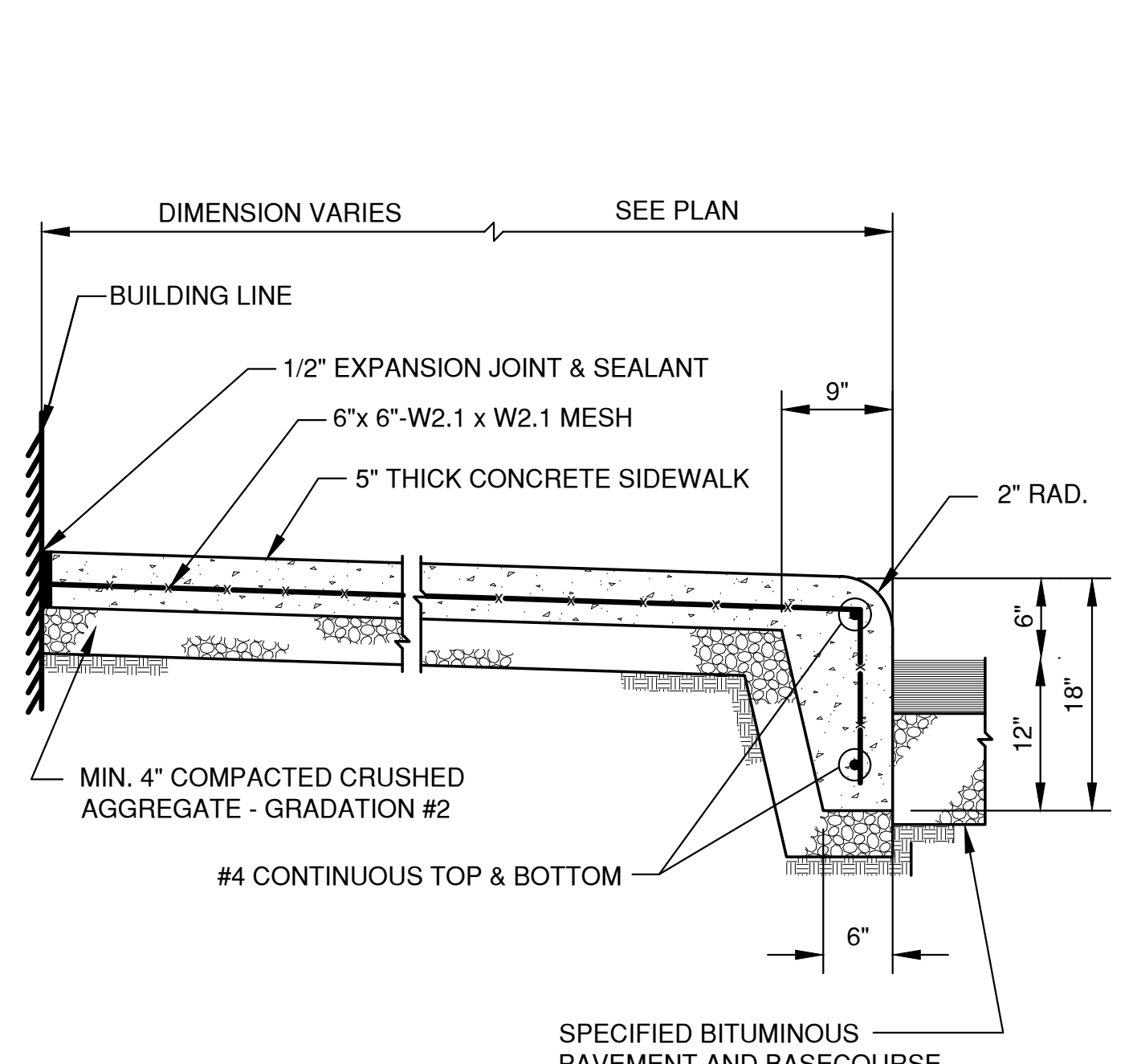
MOUNTABLE SHEDDING CURB



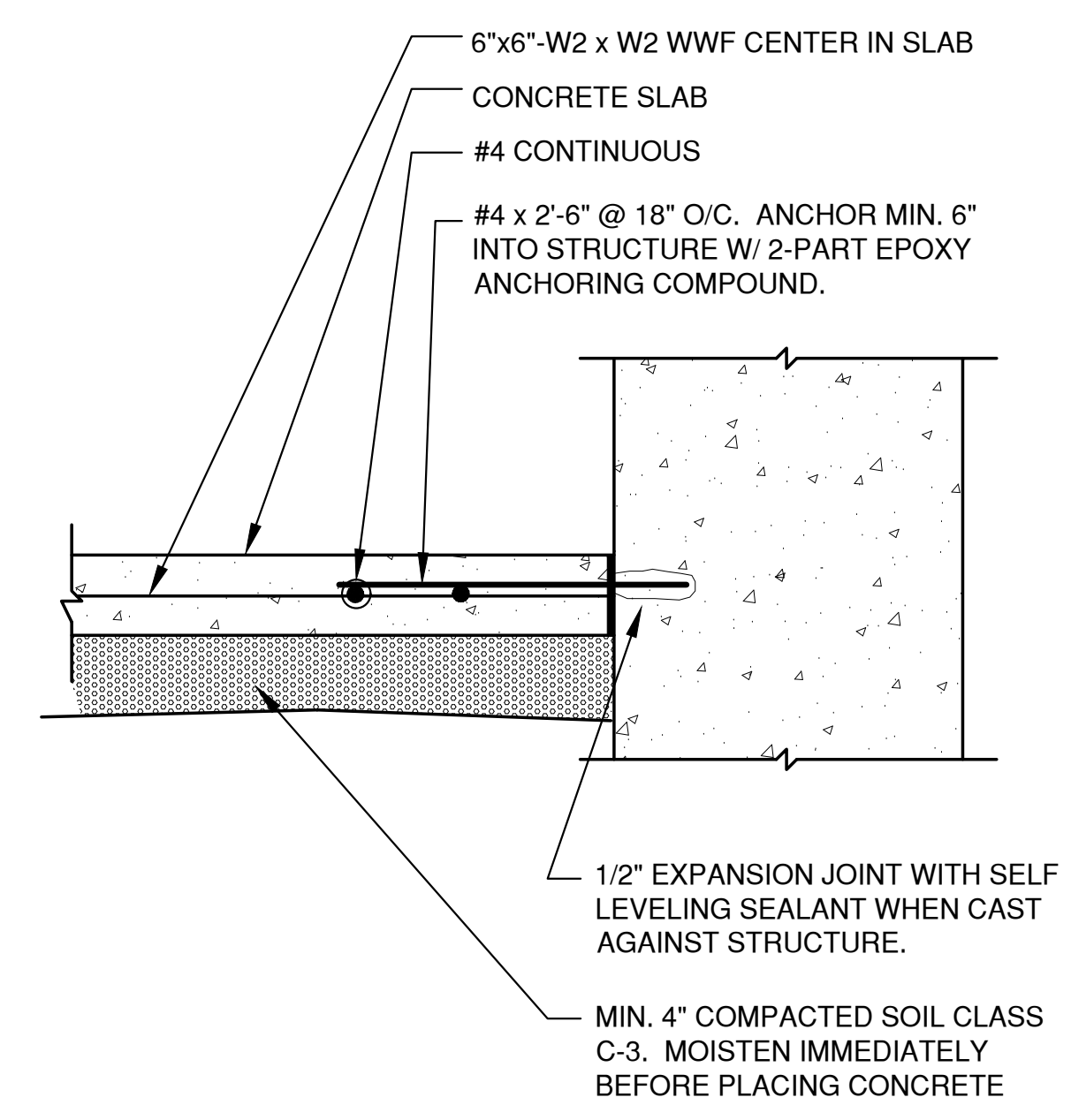
SHEDDING CURB DETAIL



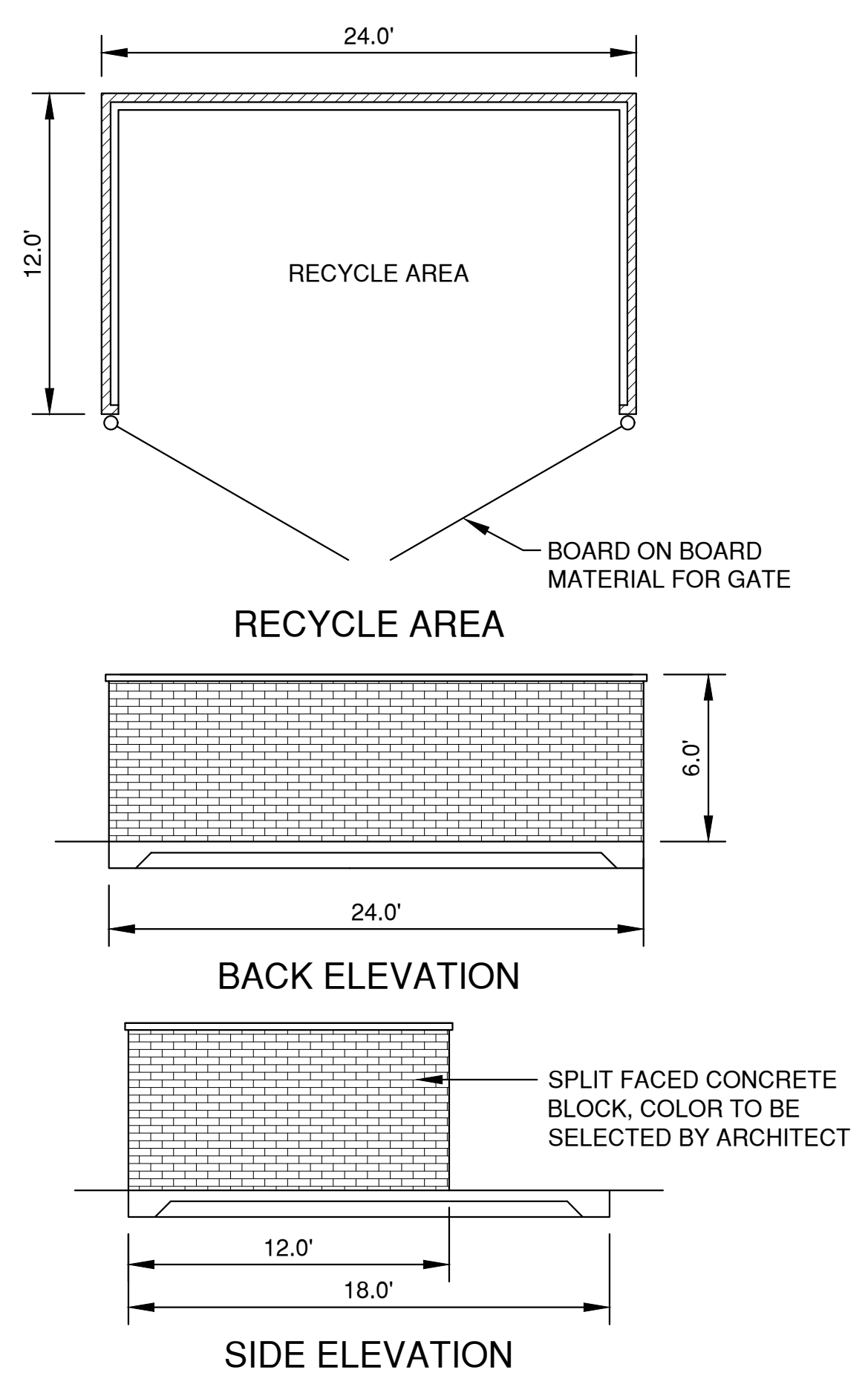
ASPHALT PAVEMENT DETAIL



SIDEWALK WITH INTEGRAL CURB

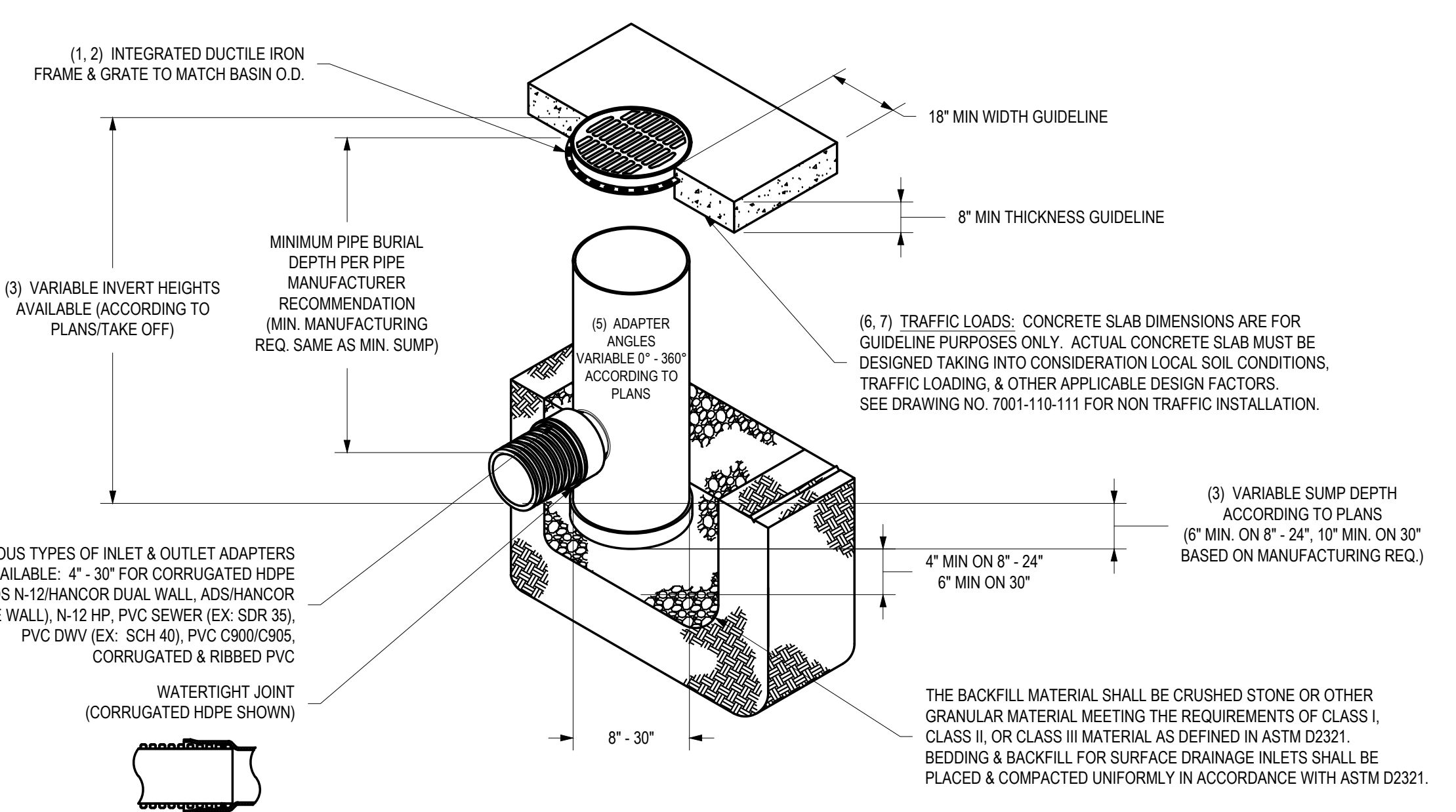


TYPICAL SIDEWALK ADJACENT TO STRUCTURE



TRASH ENCLOSURE DETAIL

NYLOPLAST DRAIN BASIN WITH STANDARD GRATE



NYOPLAST BASIN DETAIL

- 1 - 8" - 30" STANDARD GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 3 - 8" & 10" STANDARD GRATES FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-046.
- 4 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-066.
- 5 - DRAINAGE CONNECTION SUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3317 FOR CORRUGATED HDPE (ADS N-12 HANCOR WALL, ADS HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX. SDR 35), PVC DWV (EX. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC
- 6 - WATERTIGHT JOINT (CORRUGATED HDPE SHOWN)
- 7 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE UP TO 30°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 8 - 12" - 30" STANDARD GRATES SHALL MEET H-20 LOAD RATING.
- 9 - 8" & 10" STANDARD GRATES ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY. NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

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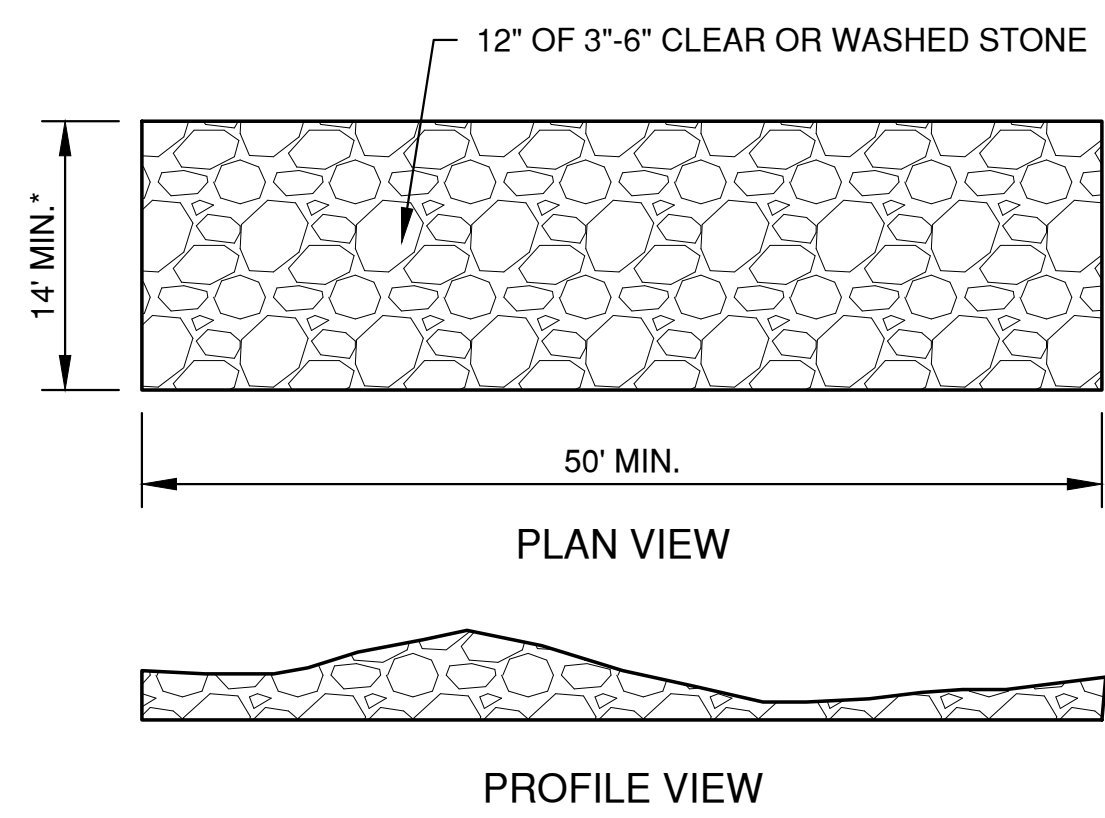
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MISCELLANEOUS DETAILS

C106

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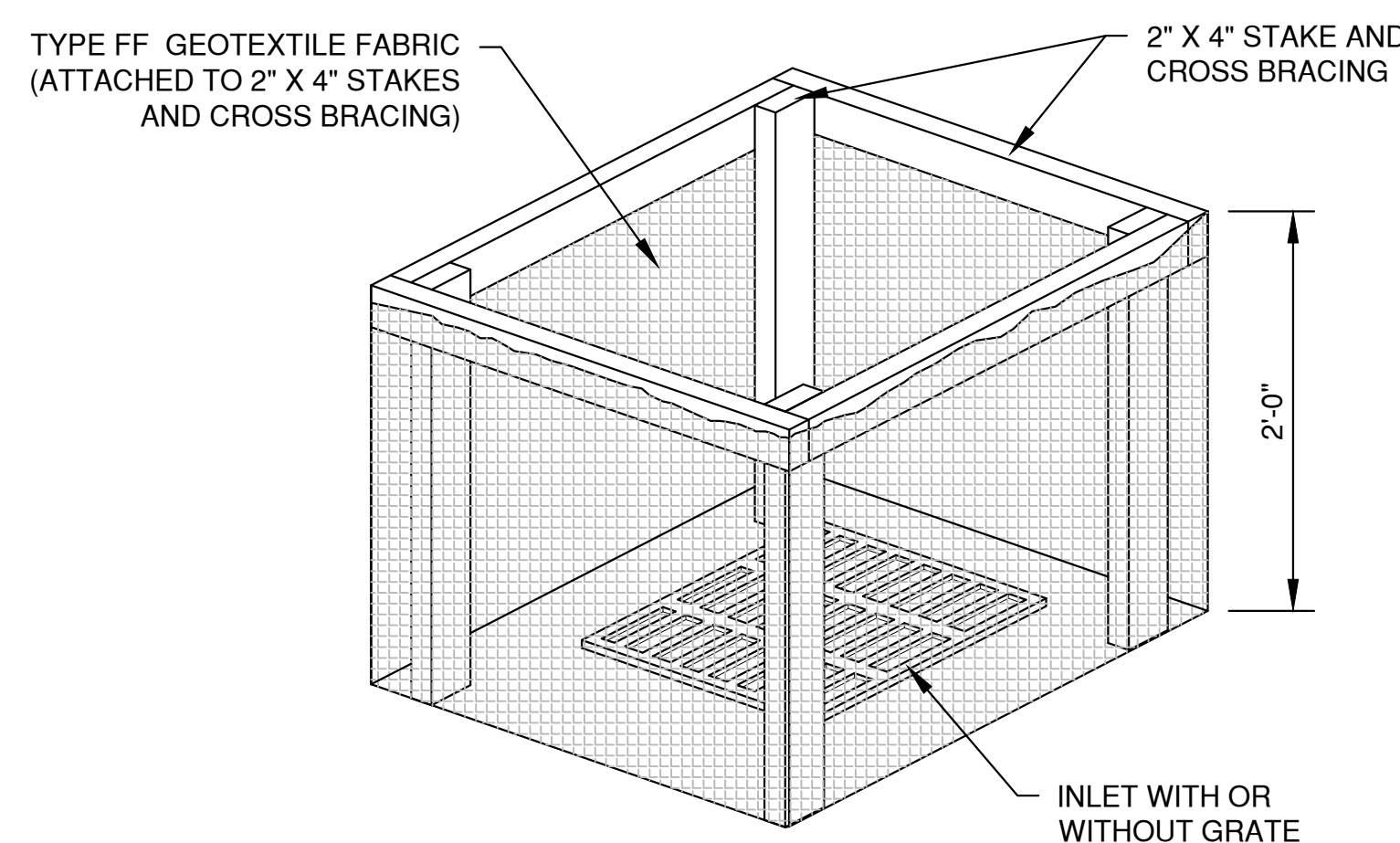
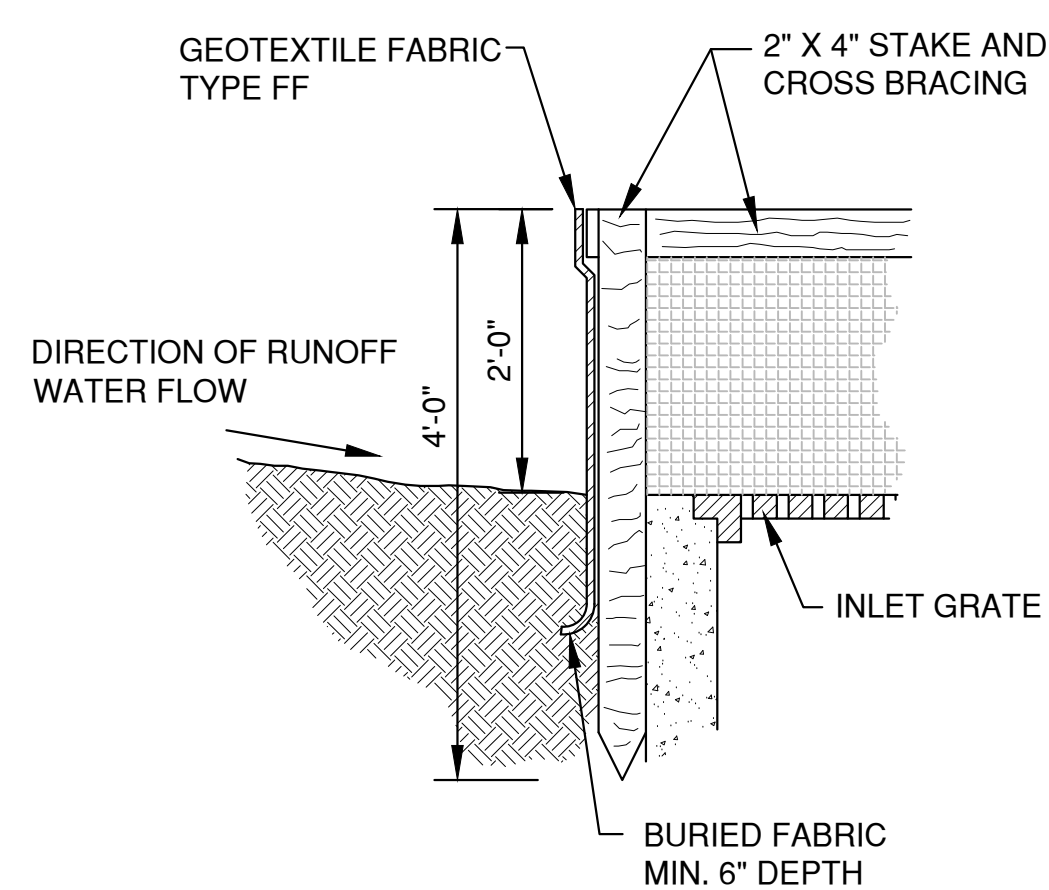
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*14" MIN. OR FULL WIDTH OF THE EGRESS POINT. REFERENCE WDNR TECHNICAL STANDARD 1057.

**ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE "R" GEOTEXTILE FABRIC.

TRACKING PAD DETAIL
(IF APPLICABLE)



INLET PROTECTION, TYPE A

INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

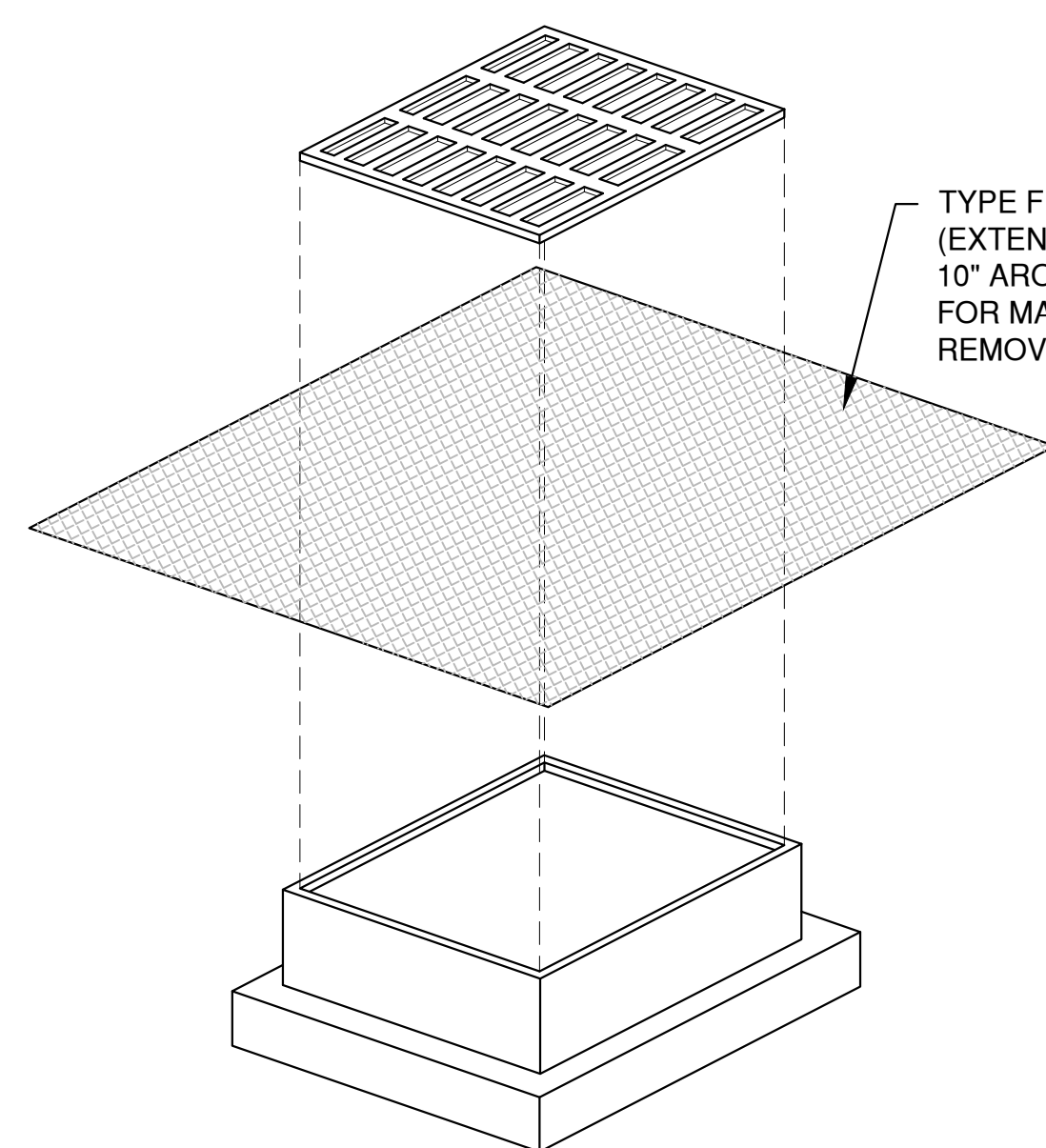
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

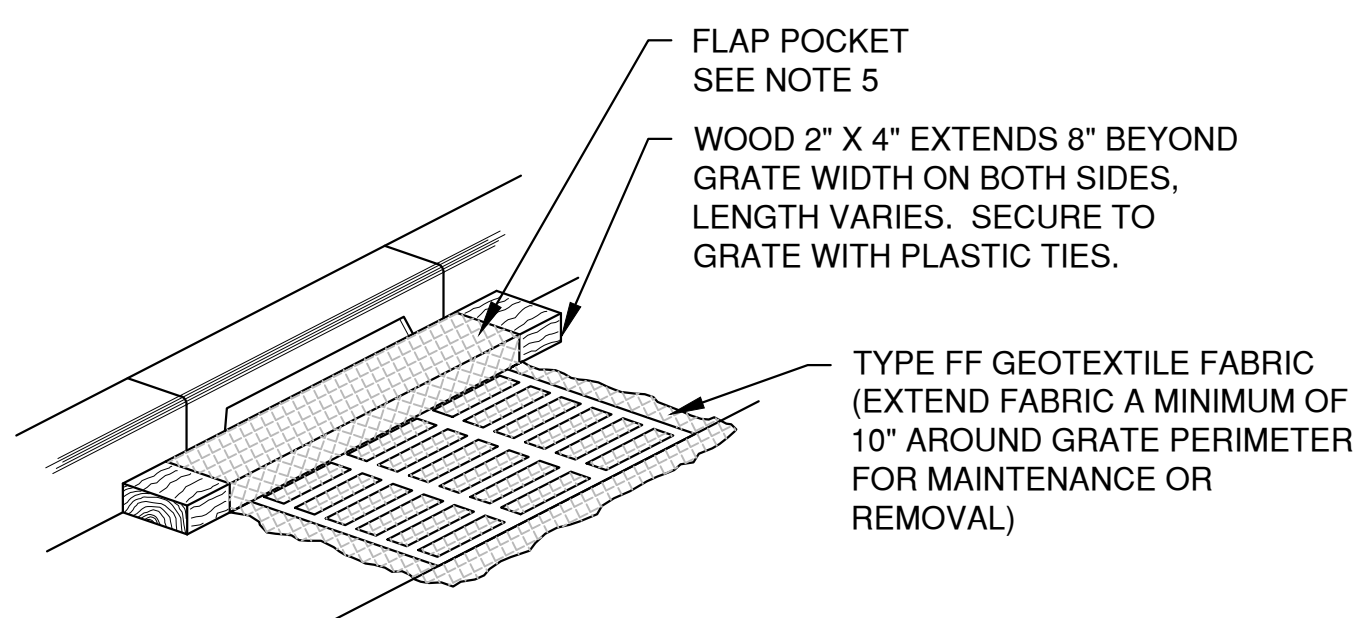
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

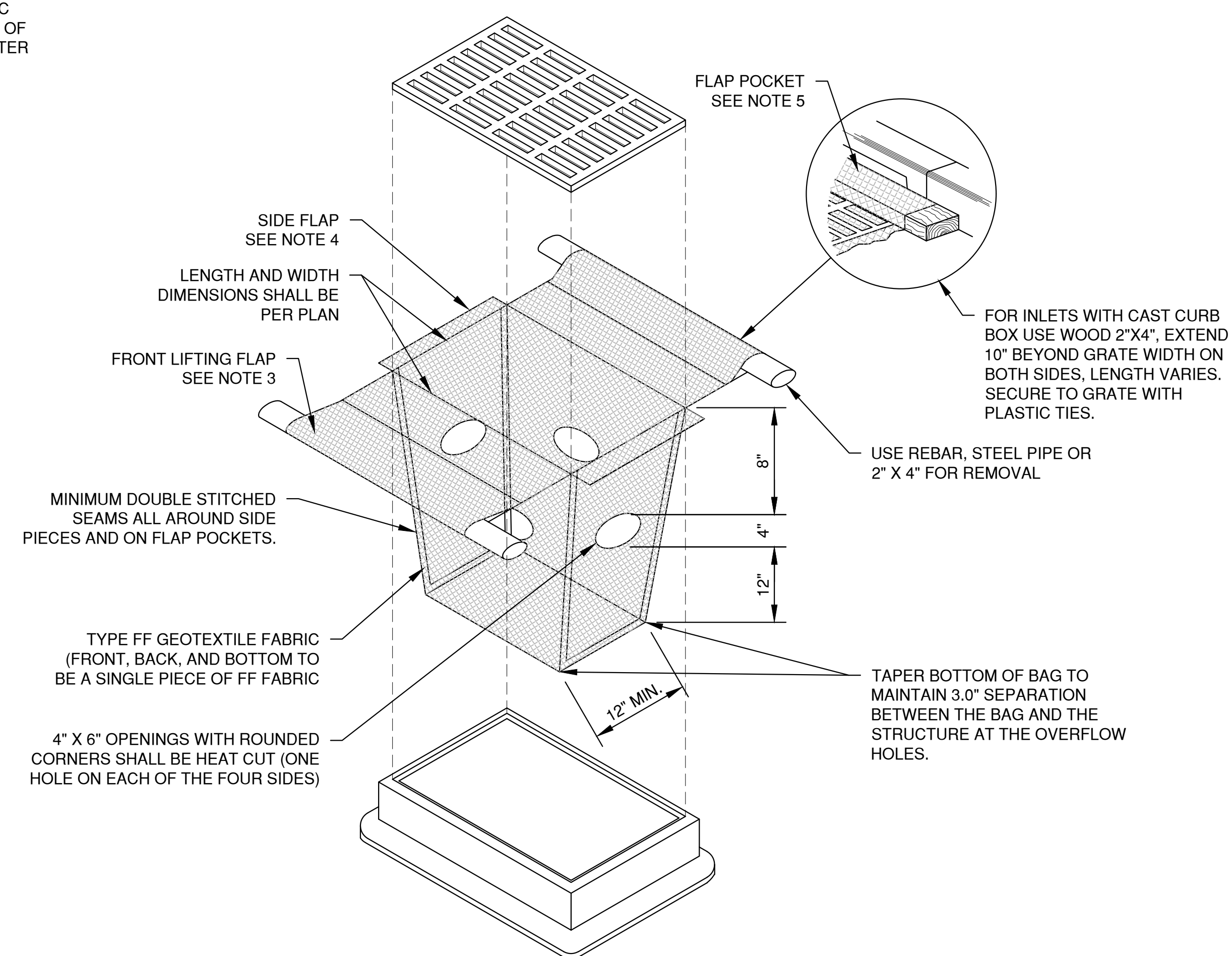
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



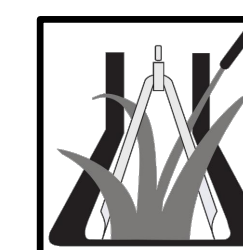
INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



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REVISION	DATE

EROSION CONTROL DETAILS

C107 DATE: JULY, 2018
COMMISSION: 5859.00

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NOTES:

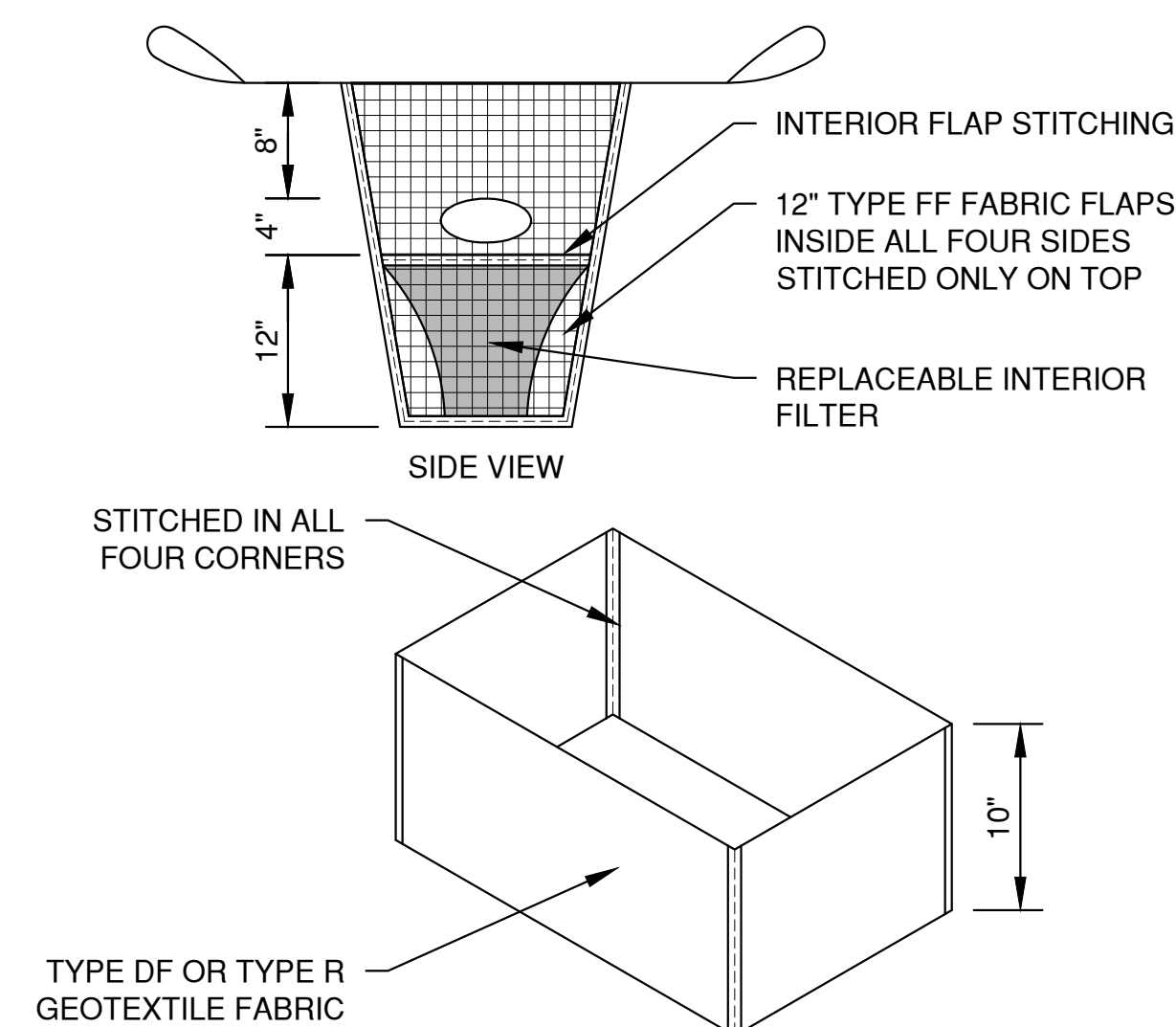
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

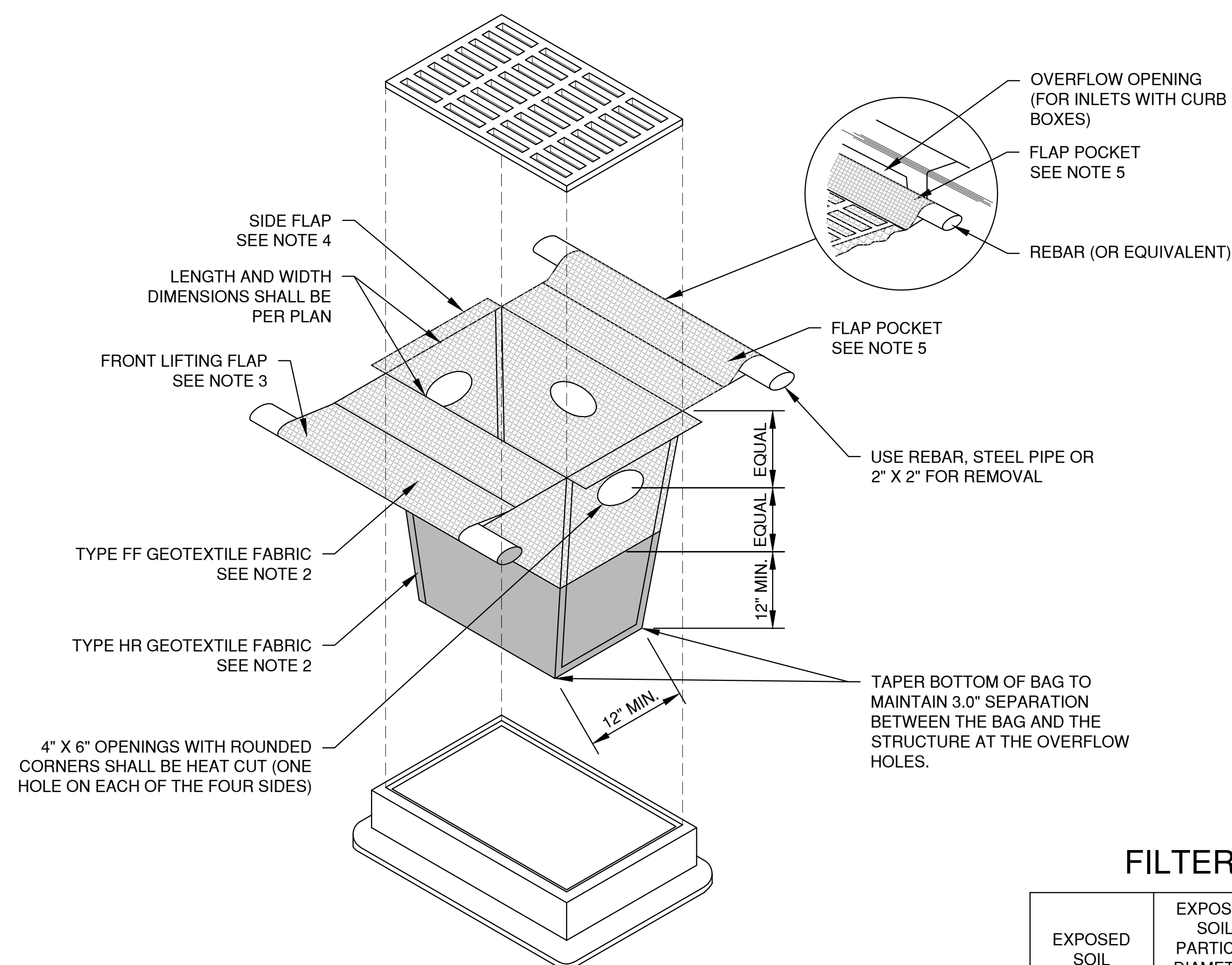
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NOTES:

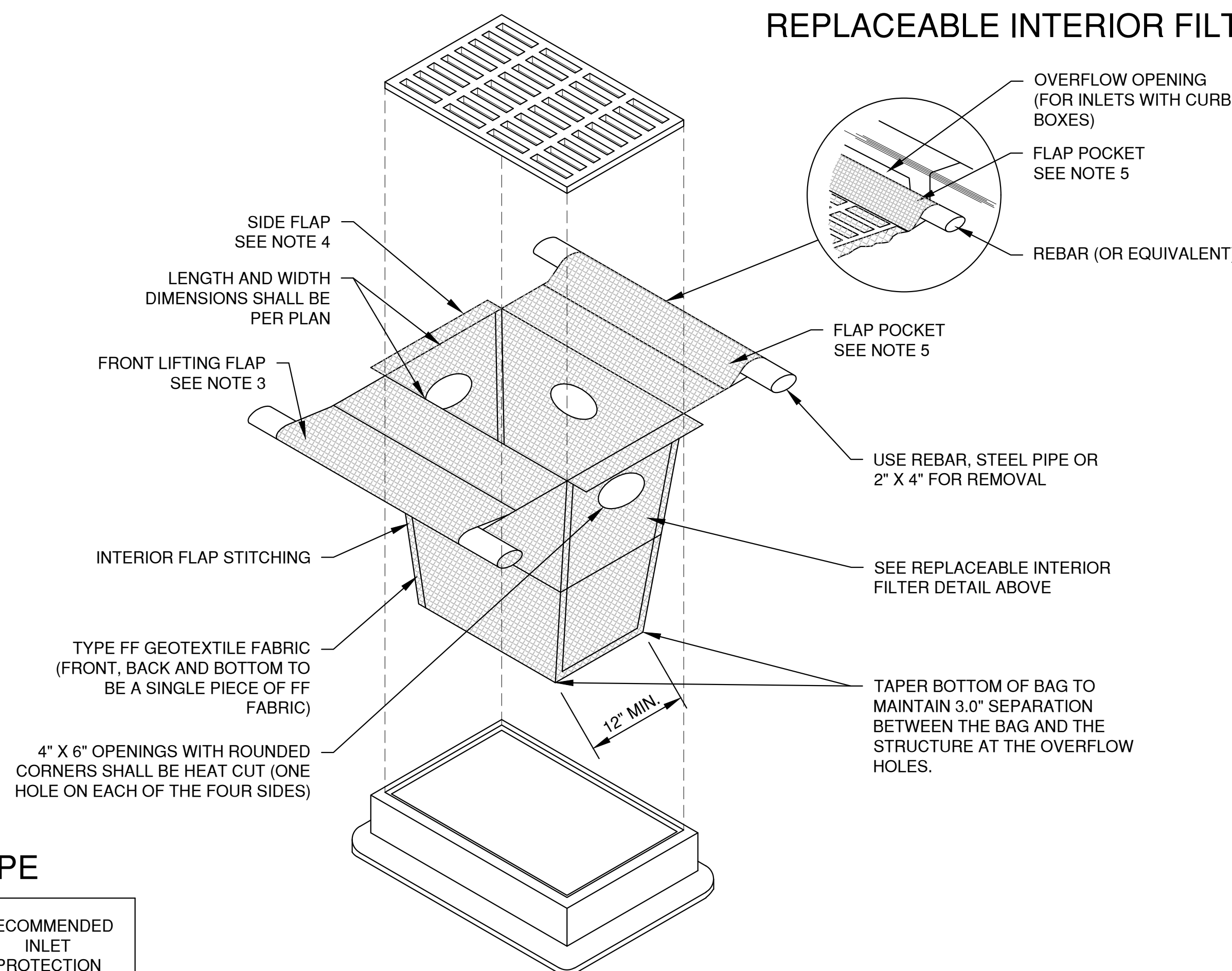
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2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥ 0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

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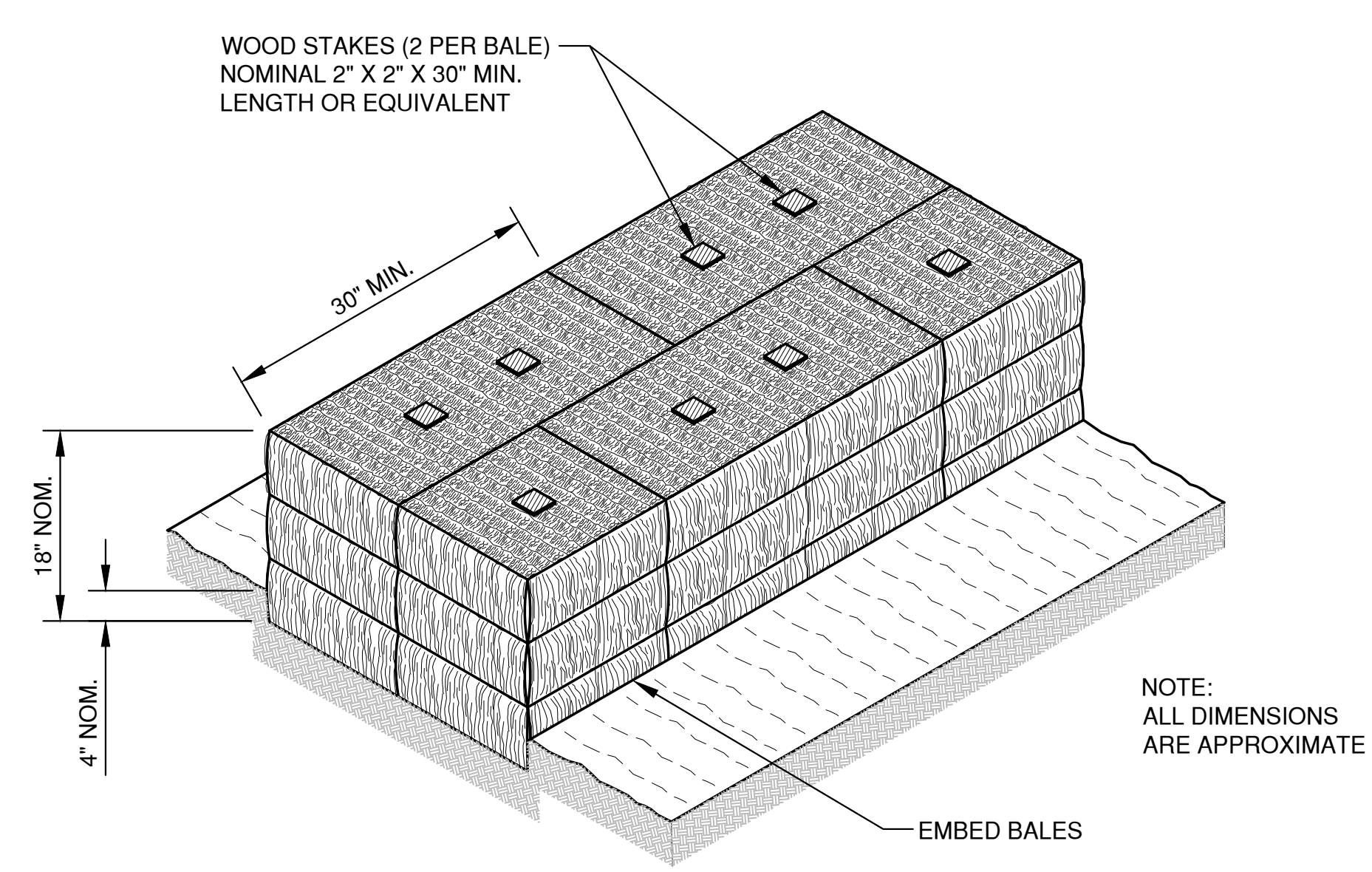
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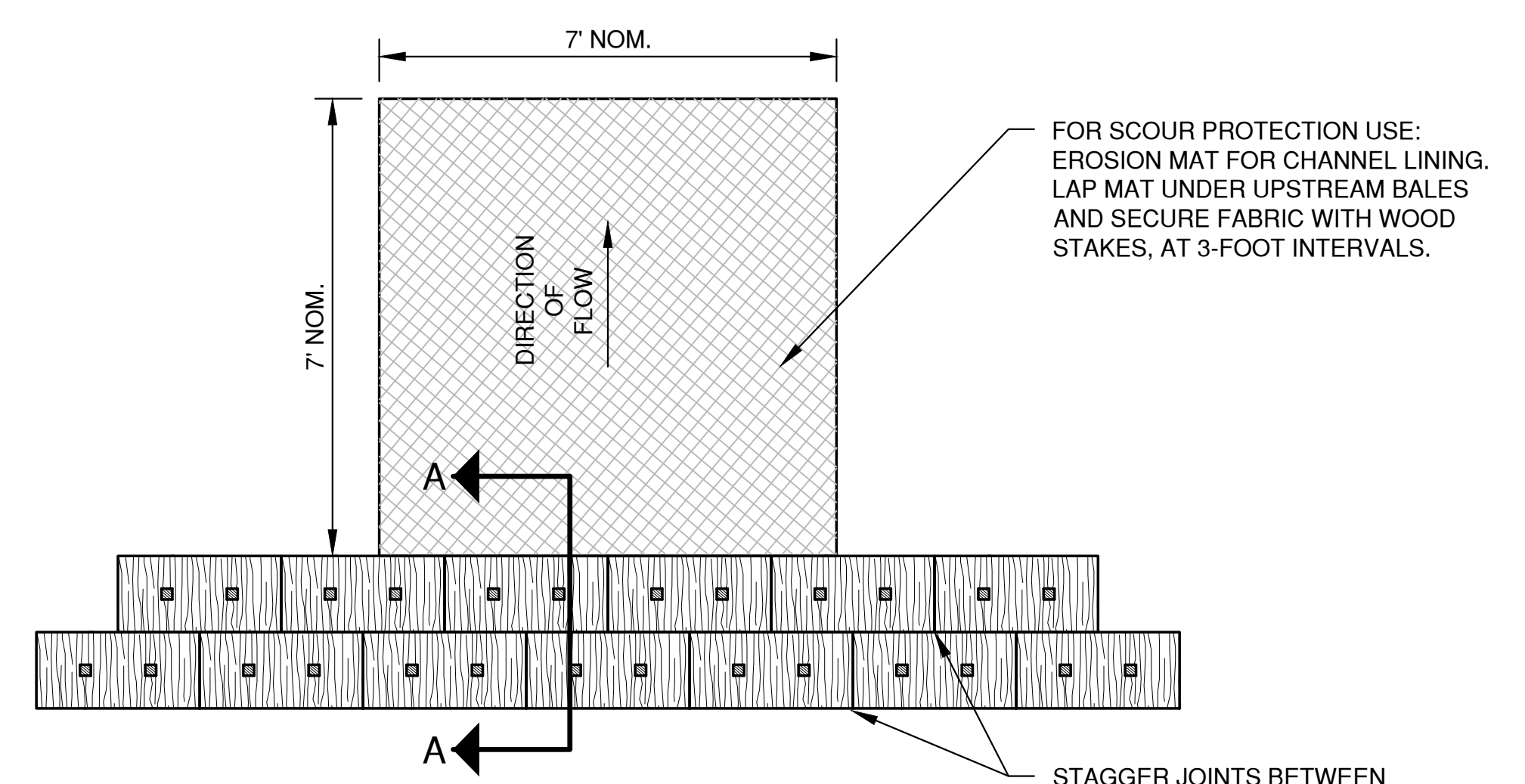
EROSION CONTROL DETAILS

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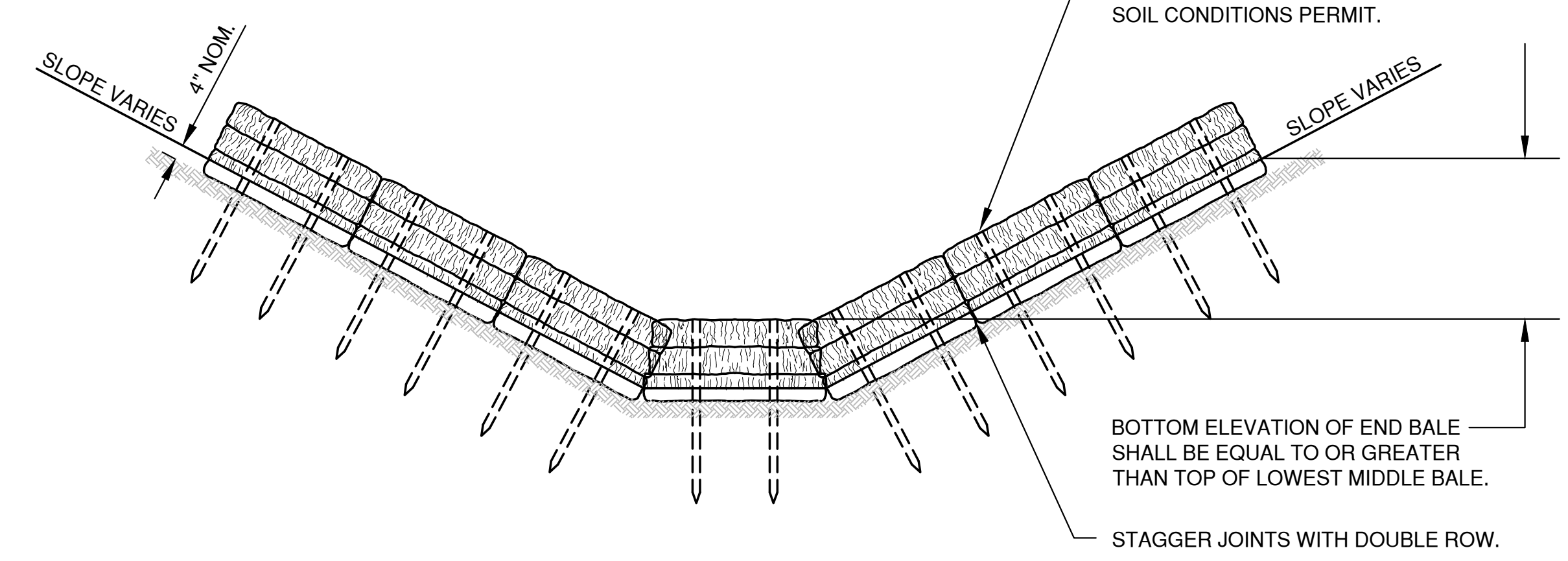
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SECTION A-A

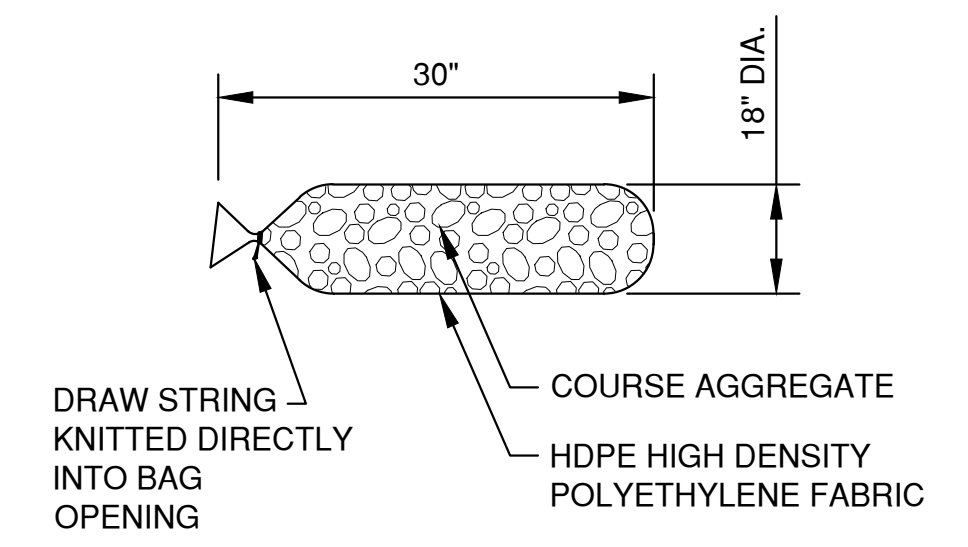


PLAN VIEW



FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES
TYPE A



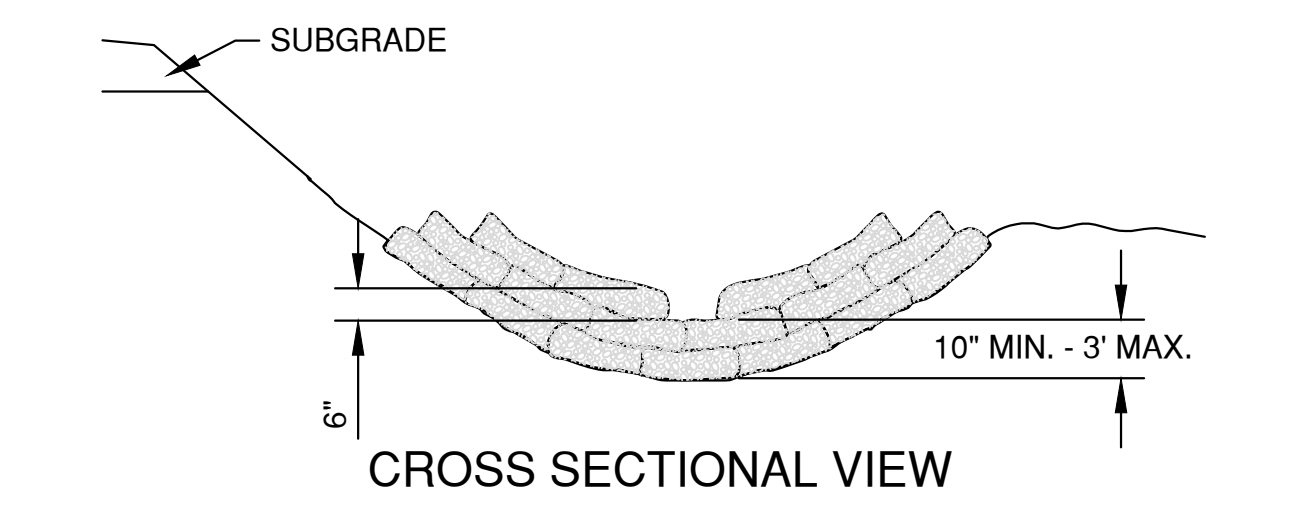
FILTER BAG DETAIL

NOTES:

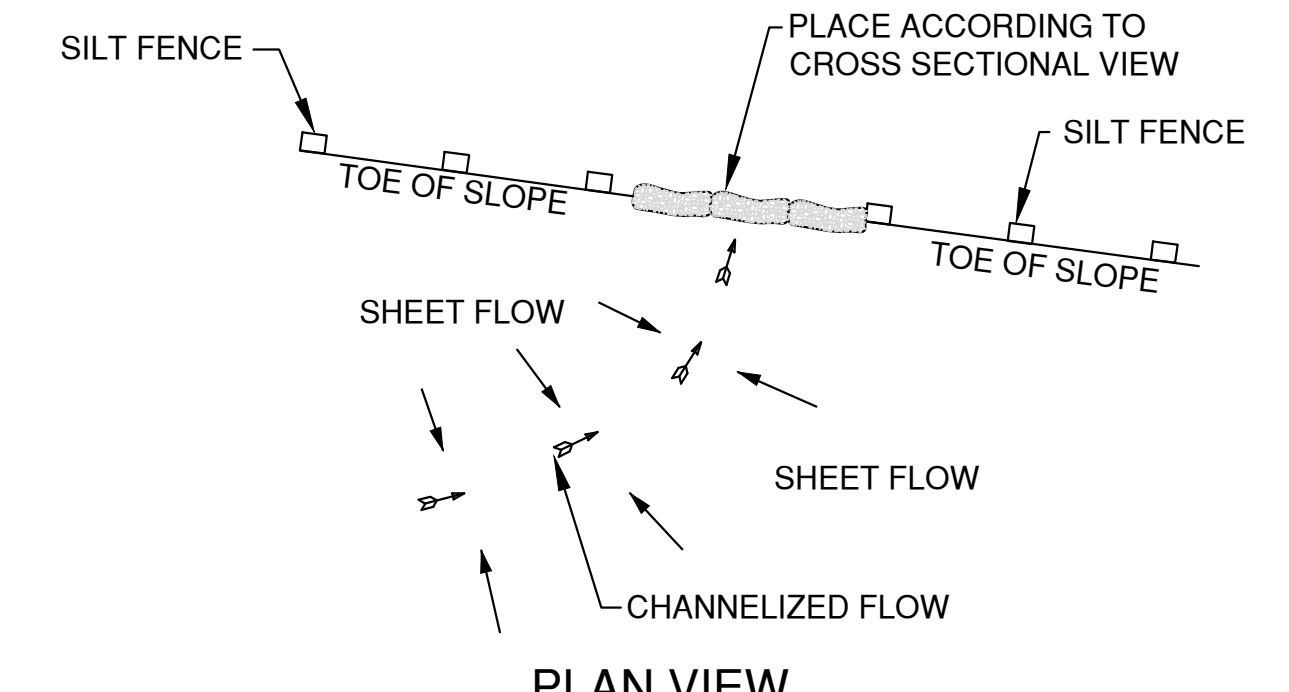
- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:
HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO
BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X
1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR
STRENGTH AND DURABILITY.
- USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING
GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO.
	AASHTO No. 67 (1)
2 INCH (50 mm)	-
1 1/2 INCH (37.5mm)	-
1 INCH (25.0 mm)	100
3/4 INCH (19.0mm)	90-100
3/8 INCH (9.5mm)	20-55
No. 4 (4.75mm)	0-10
No. 8 (2.36mm)	0-5

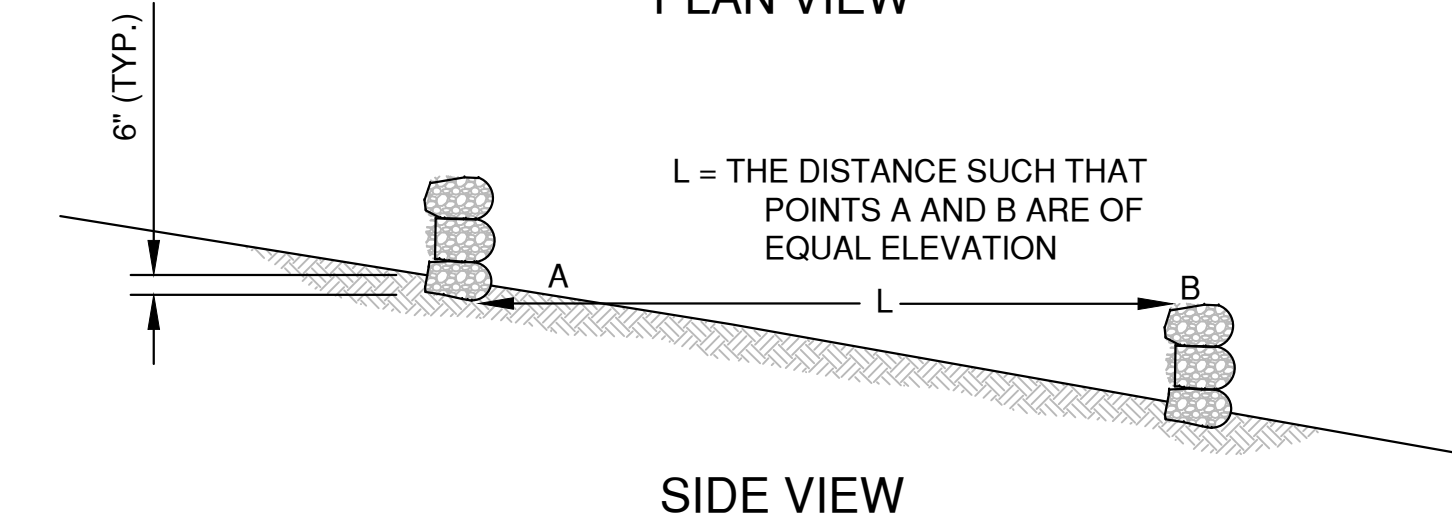
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW



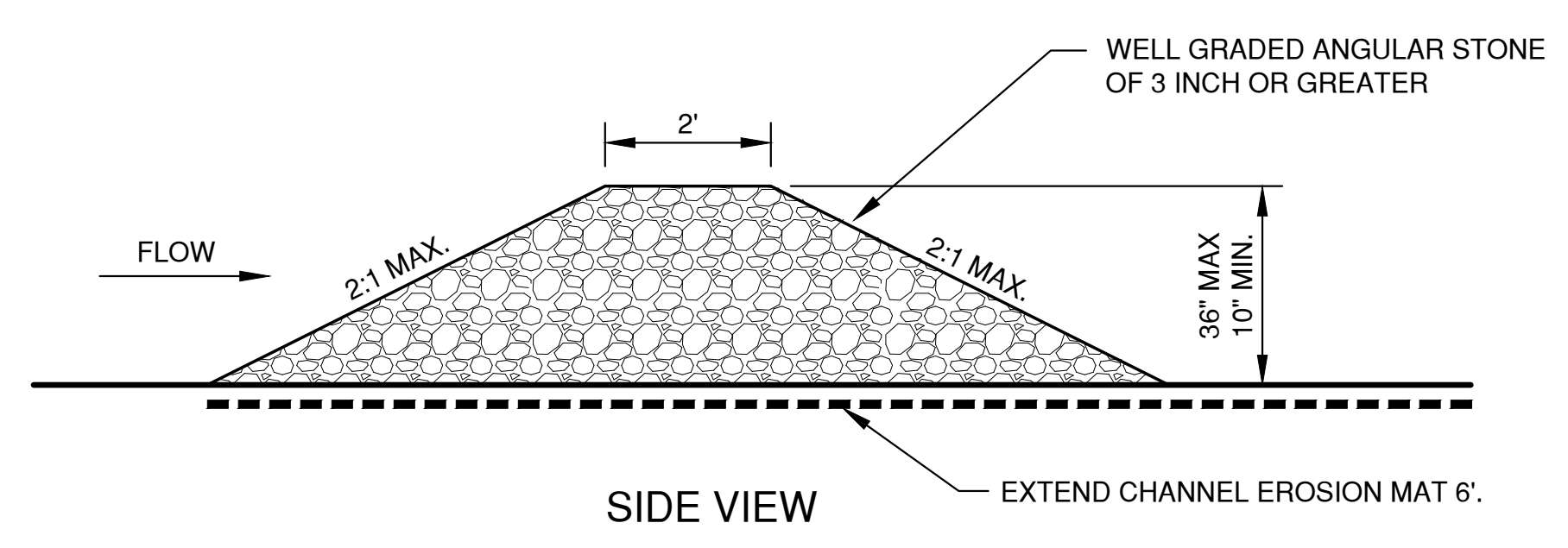
PLAN VIEW



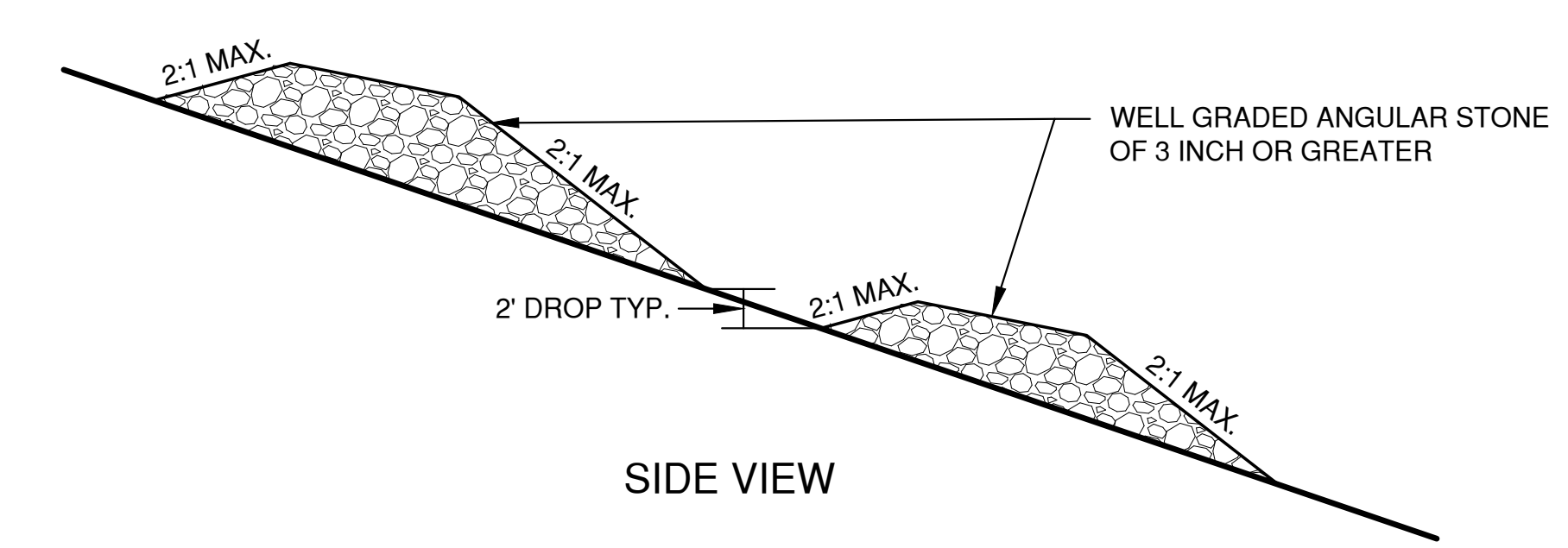
SIDE VIEW

DITCH CHECK DETAIL

ROCK FILLED EROSION CONTROL BAGS
TYPE B



SIDE VIEW



SIDE VIEW

TEMPORARY DITCH CHECK USING STONE
TYPE C

DITCH CHECK GENERAL NOTES:

- DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
- AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
- DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.



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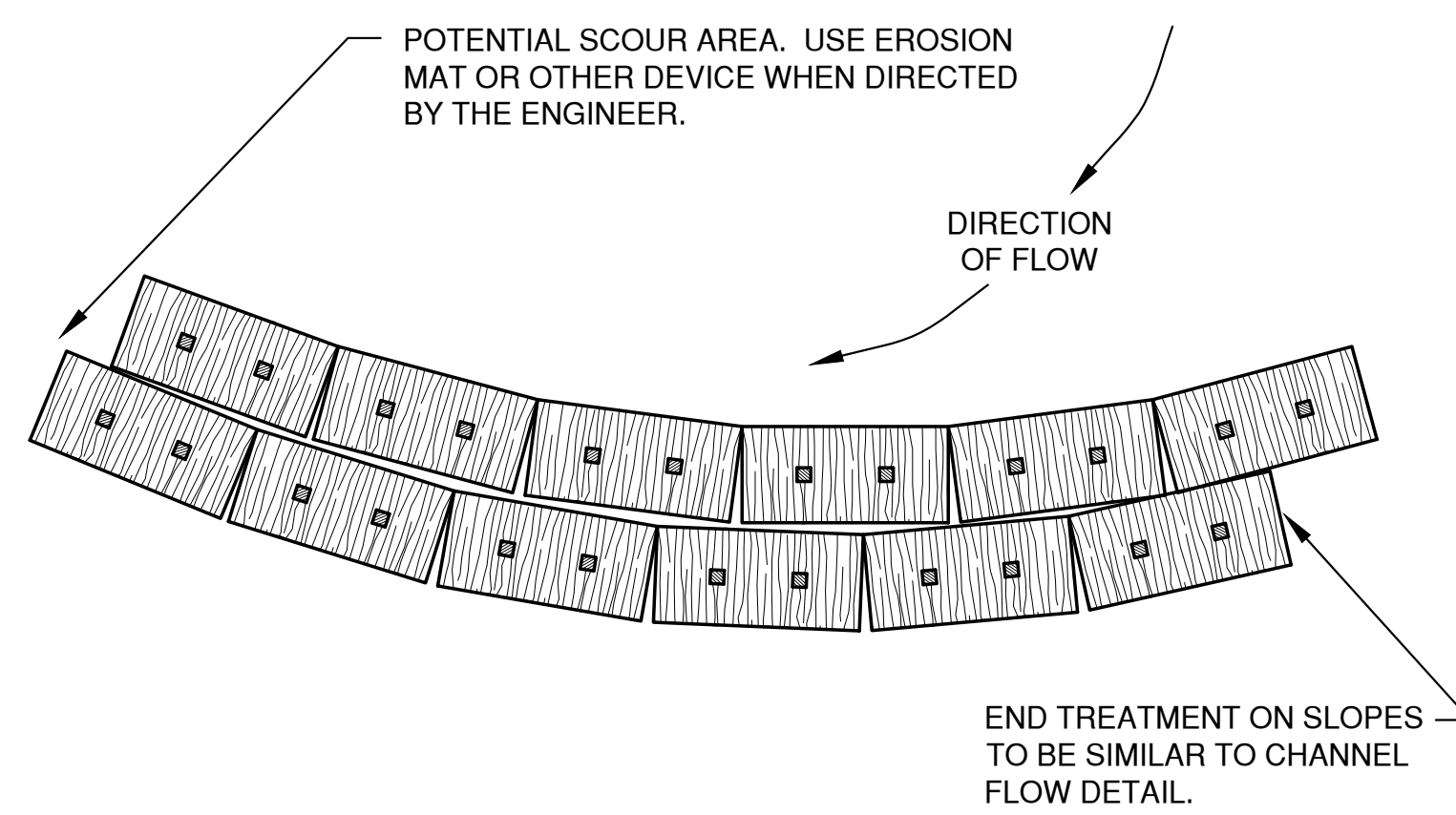
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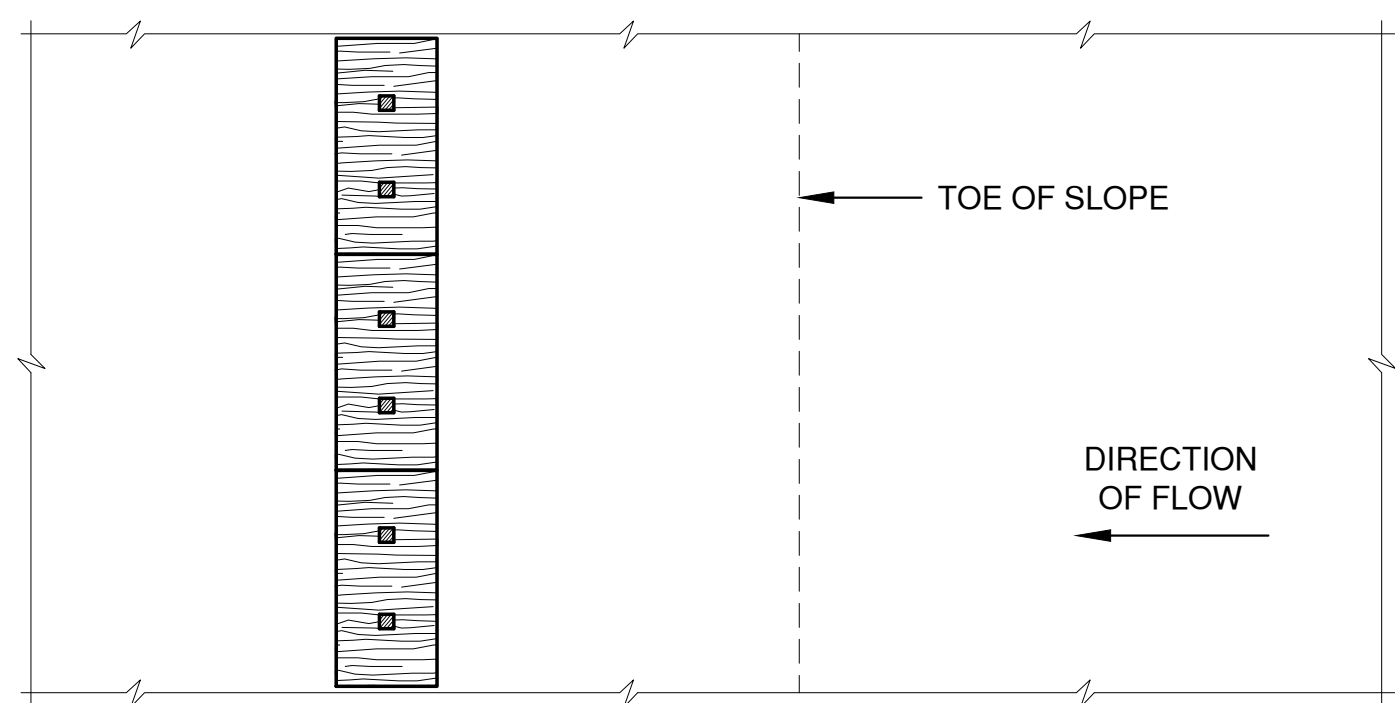
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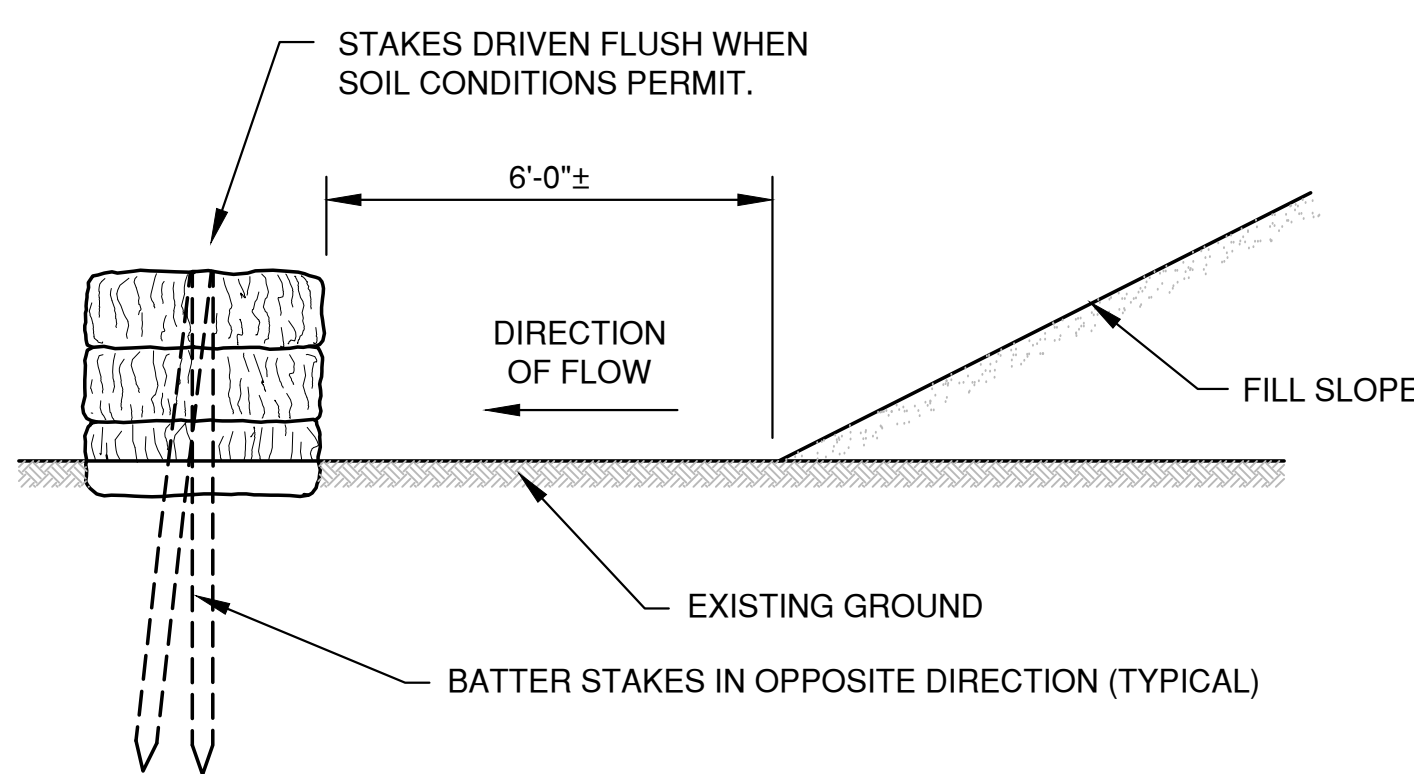
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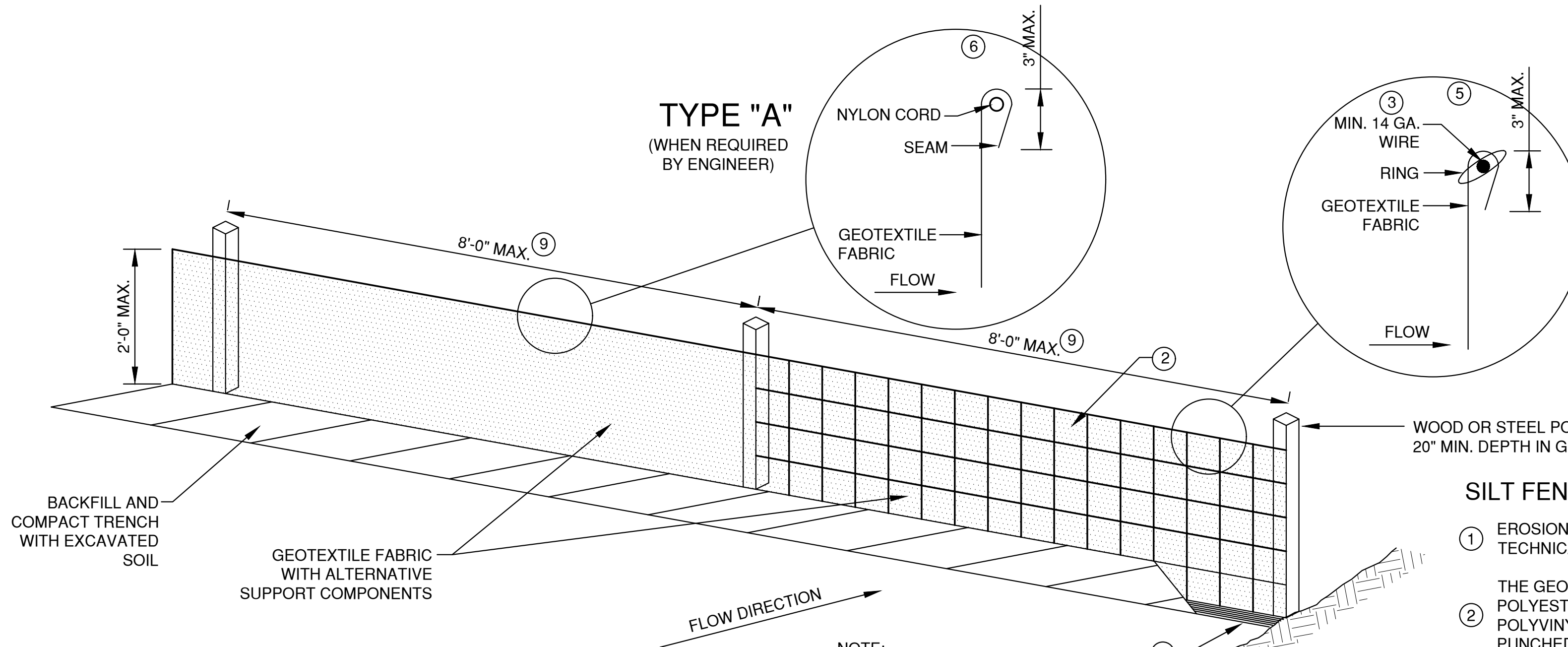
PLAN VIEW
(WHEN ALTERING THE DIRECTION OF FLOW)



PLAN VIEW

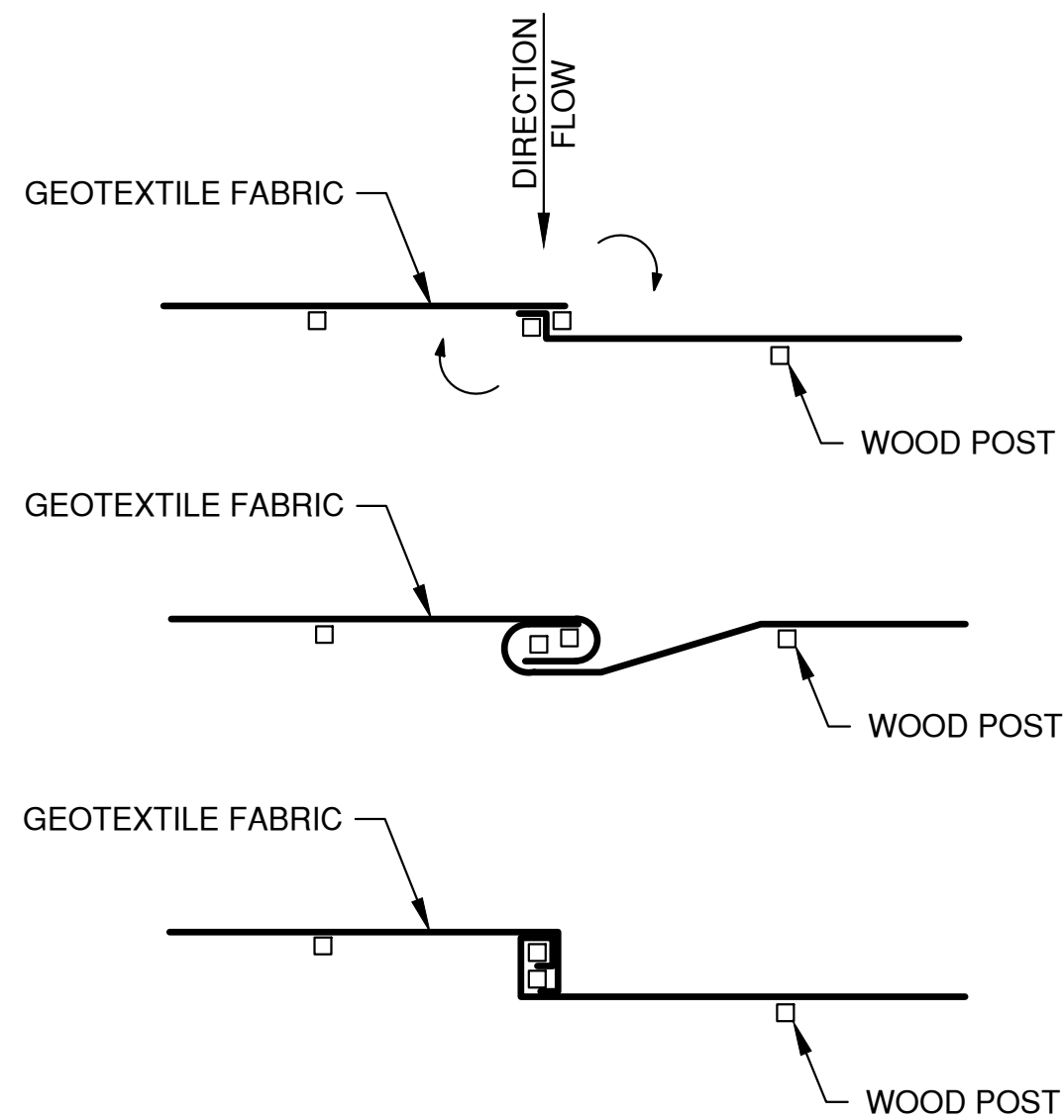


FRONT ELEVATION
WHEN EXISTING GROUND SLOPES AWAY FROM FILL SLOPE
EROSION BALES FOR SHEET FLOW

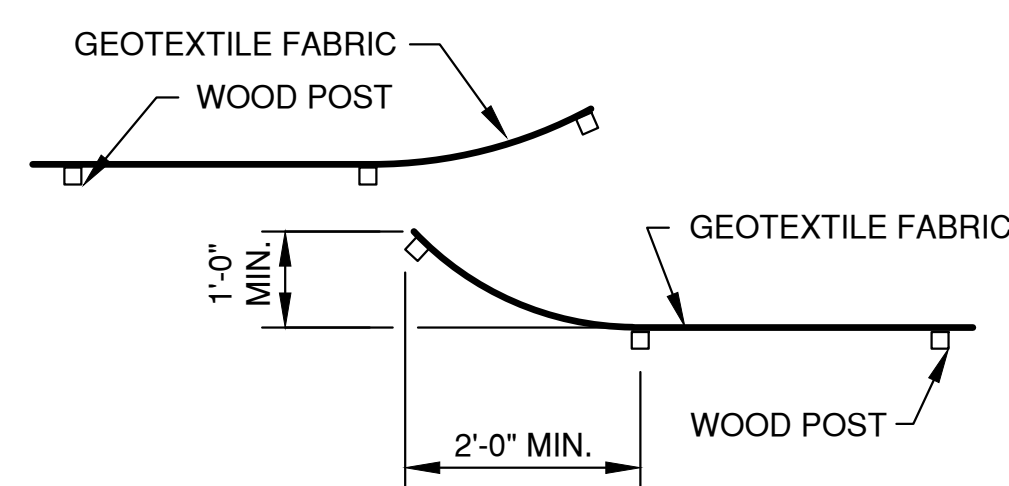


SILT FENCE DETAIL

NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

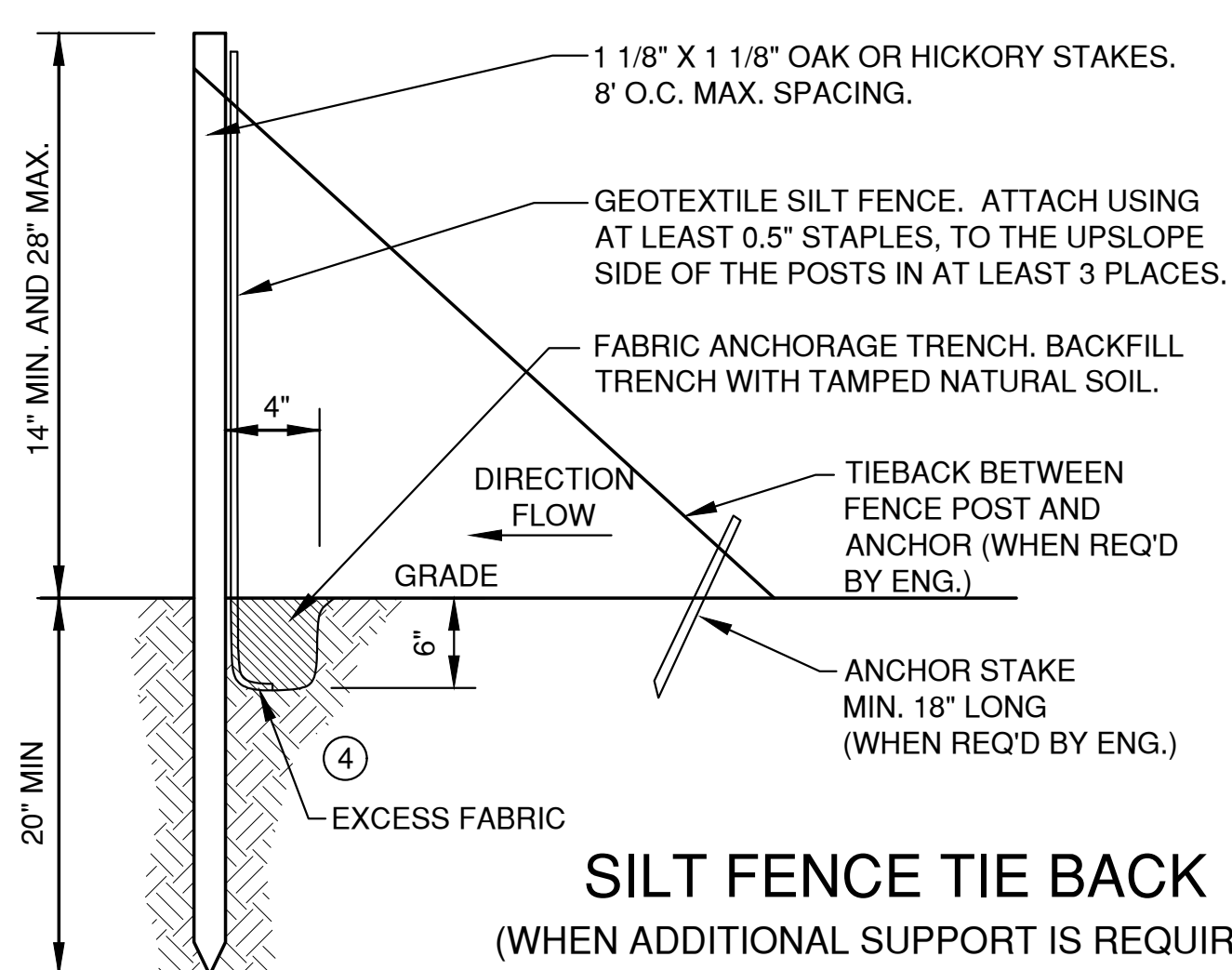


TWIST METHOD (8)



HOOK METHOD (8)

JOINING TWO LENGTHS OF SILT FENCE



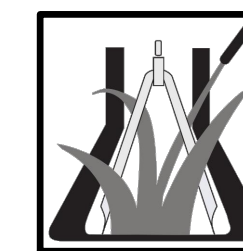
SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

SILT FENCE NOTES:

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

EROSION CONTROL SHEET FLOW NOTES:

- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
- A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SODDED.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
- UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
- EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.



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ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releinc.com

IN-PROGRESS SET

**ALTOONA MEDICAL
OFFICE BUILDING**



(STREET) | ALTOONA, WI | 54720

**BERNERS
SCHOBBER**

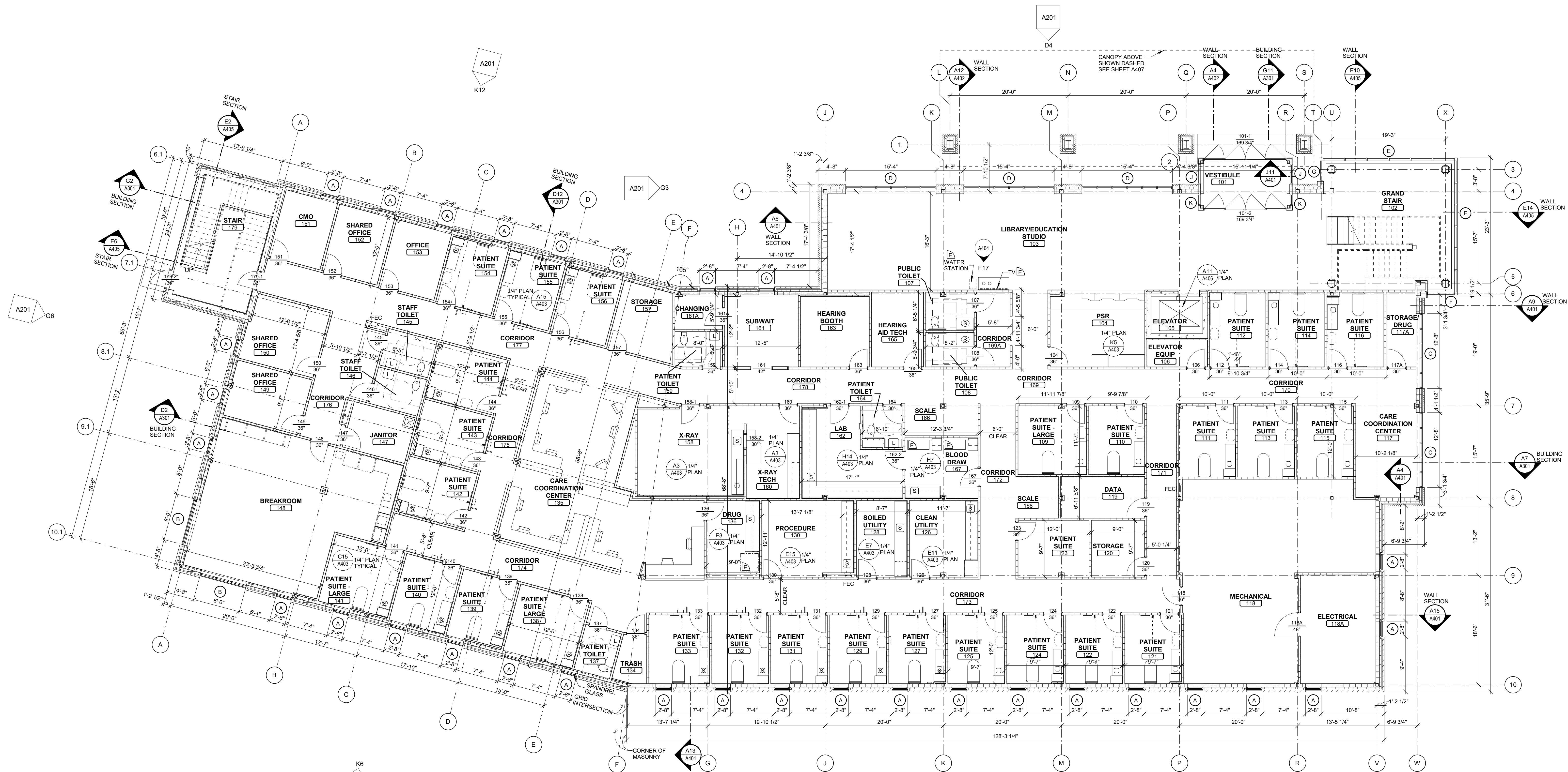
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REVISION	DATE:

EROSION CONTROL DETAILS

C110 DATE: JULY 2018
COMMISSION
5859.00

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CITY REVIEW

PREVEA ALTOONA MEDICAL OFFICE BUILDING



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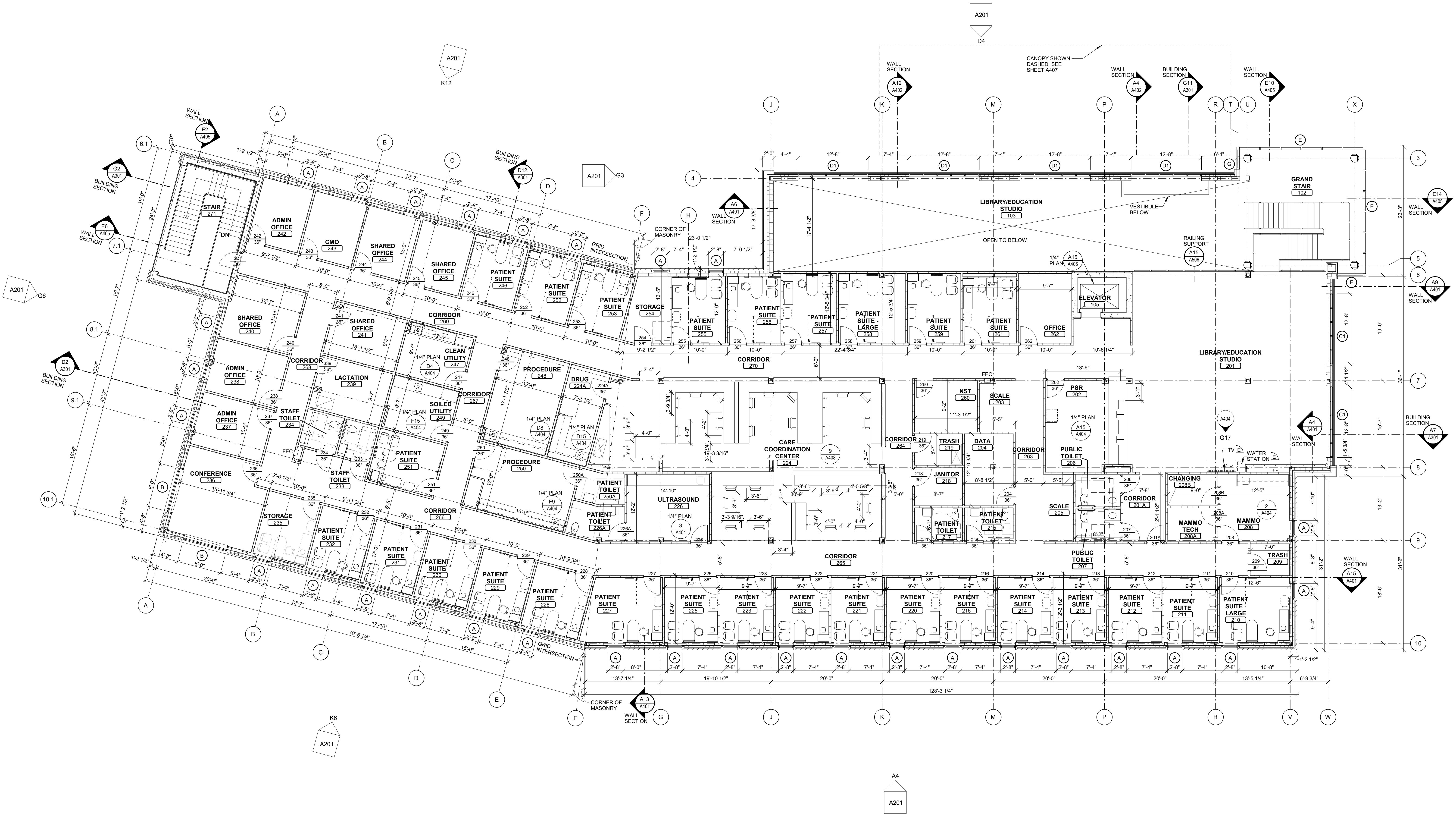
REVISION	DATE:
BID PACKAGE 01	07/19/2018
CITY REVIEW	08/03/2018

FIRST FLOOR PLAN

A101 DATE: AUGUST 3, 2018
COMMISSION: 5859.00

N
A6 FIRST FLOOR PLAN
1/8" = 1'-0"

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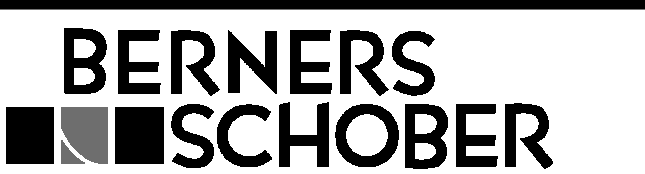
A7 SECOND FLOOR PLAN
1/8" = 1'-0"

CITY REVIEW

PREVEA ALTOONA
MEDICAL OFFICE
BUILDING



WOODMAN COURT | ALTOONA, WI | 54720



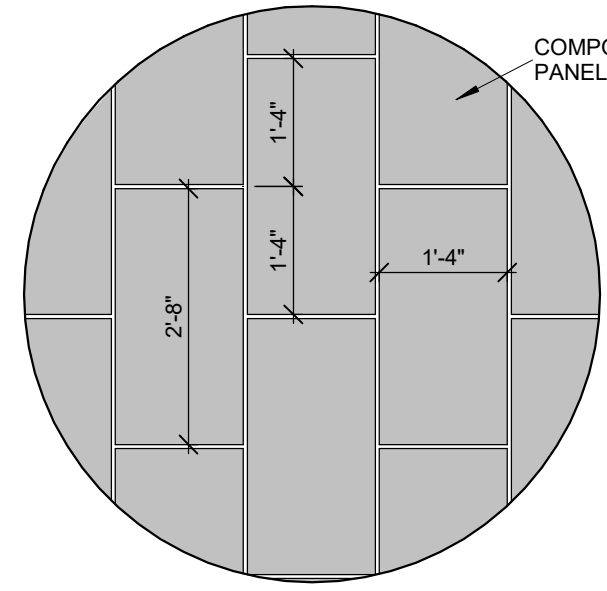
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REVISION	DATE
BID PACKAGE 01	07/19/2018
CITY REVIEW	08/03/2018

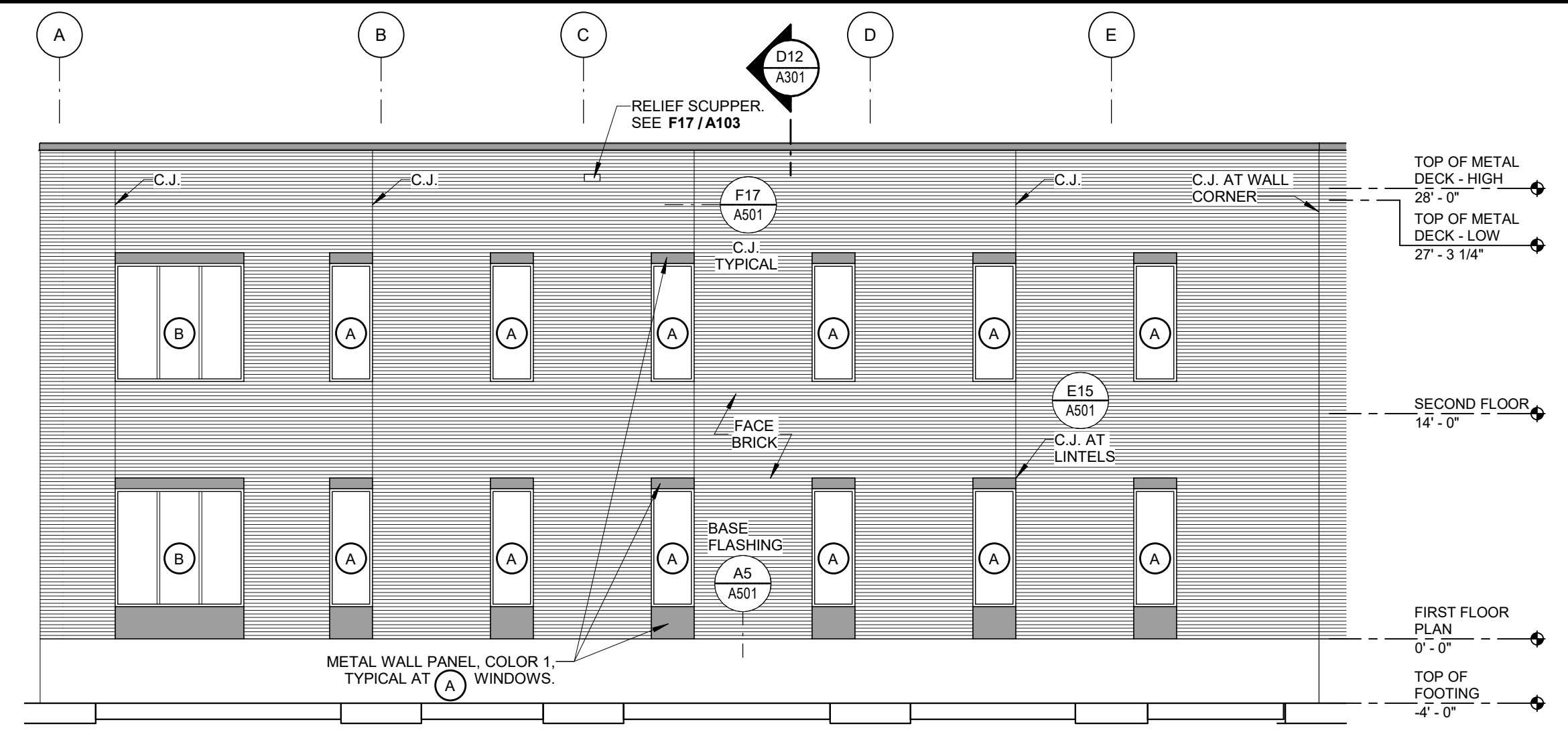
SECOND FLOOR PLAN

A102 DATE: AUGUST 3, 2018
COMMISSION: 5859.00

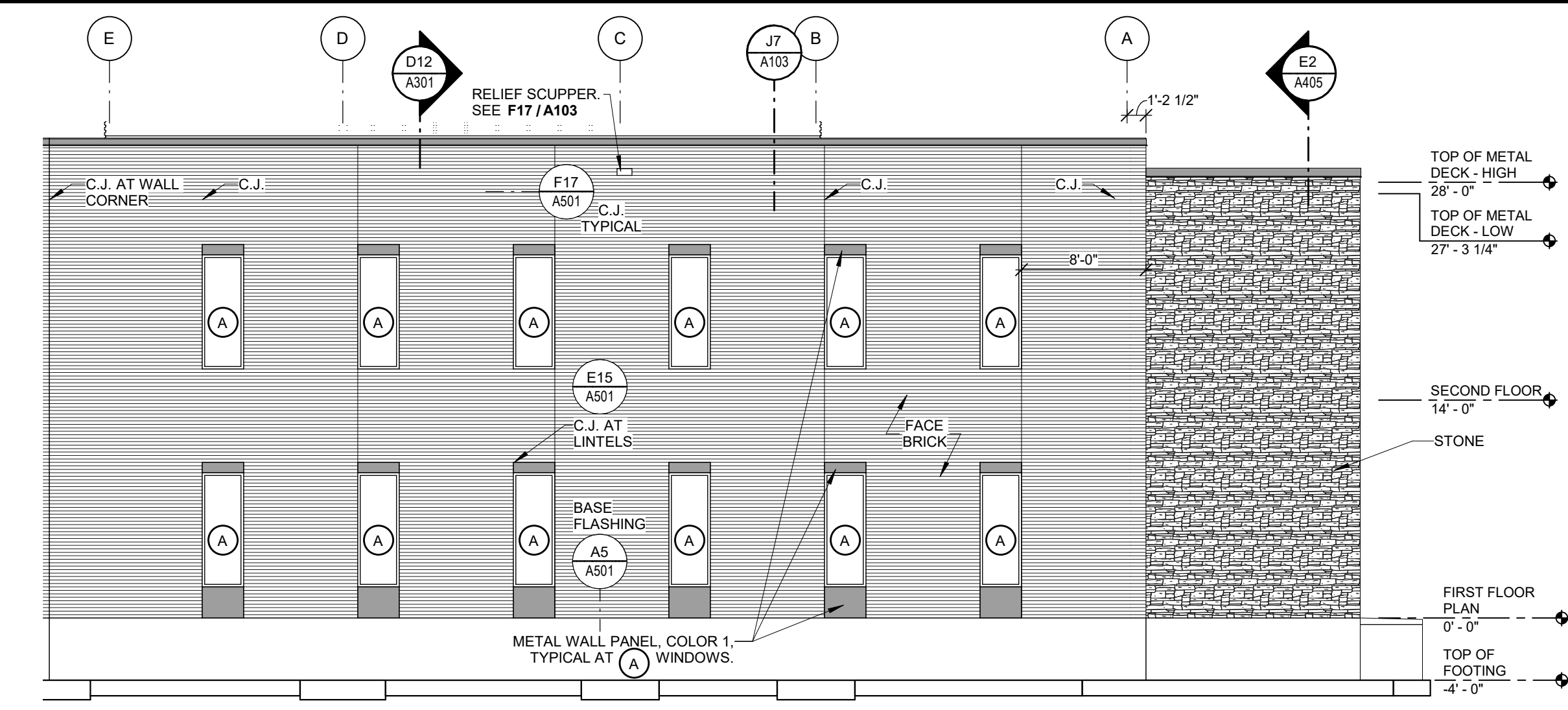
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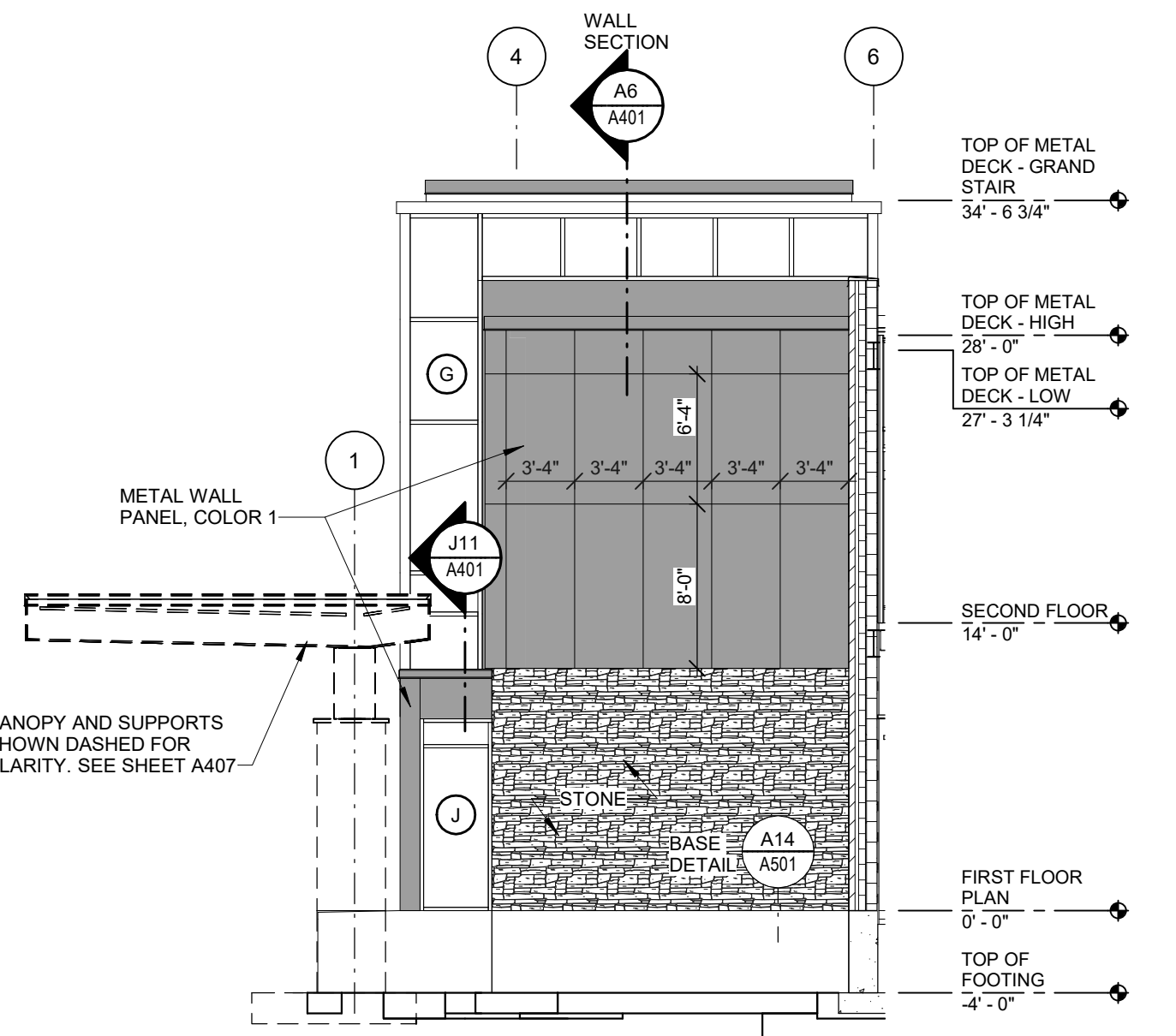
L3 WALL PANEL MEDLEY
1/2" = 1'-0"



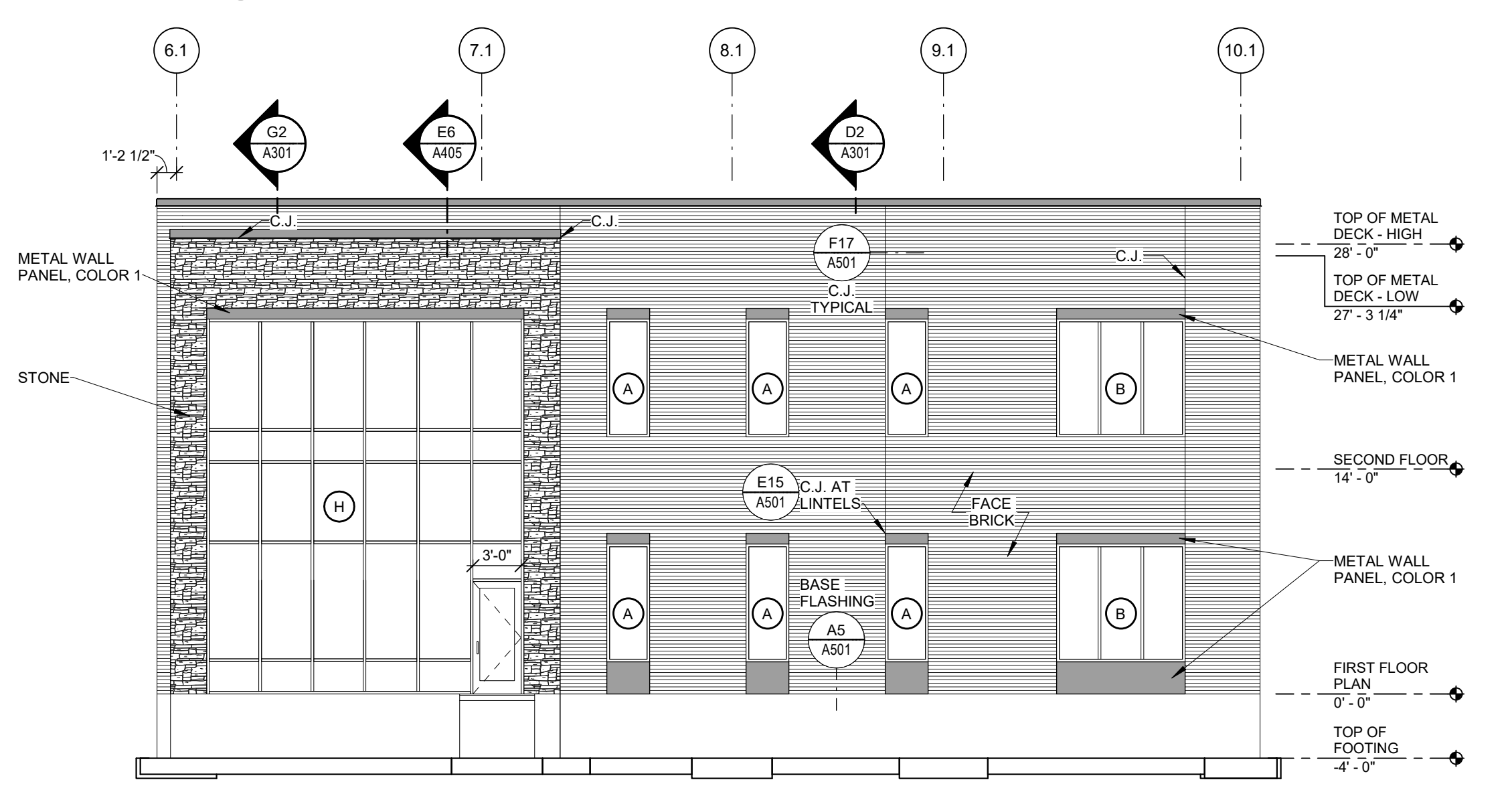
K6 SOUTHWEST ELEVATION
1/8" = 1'-0"



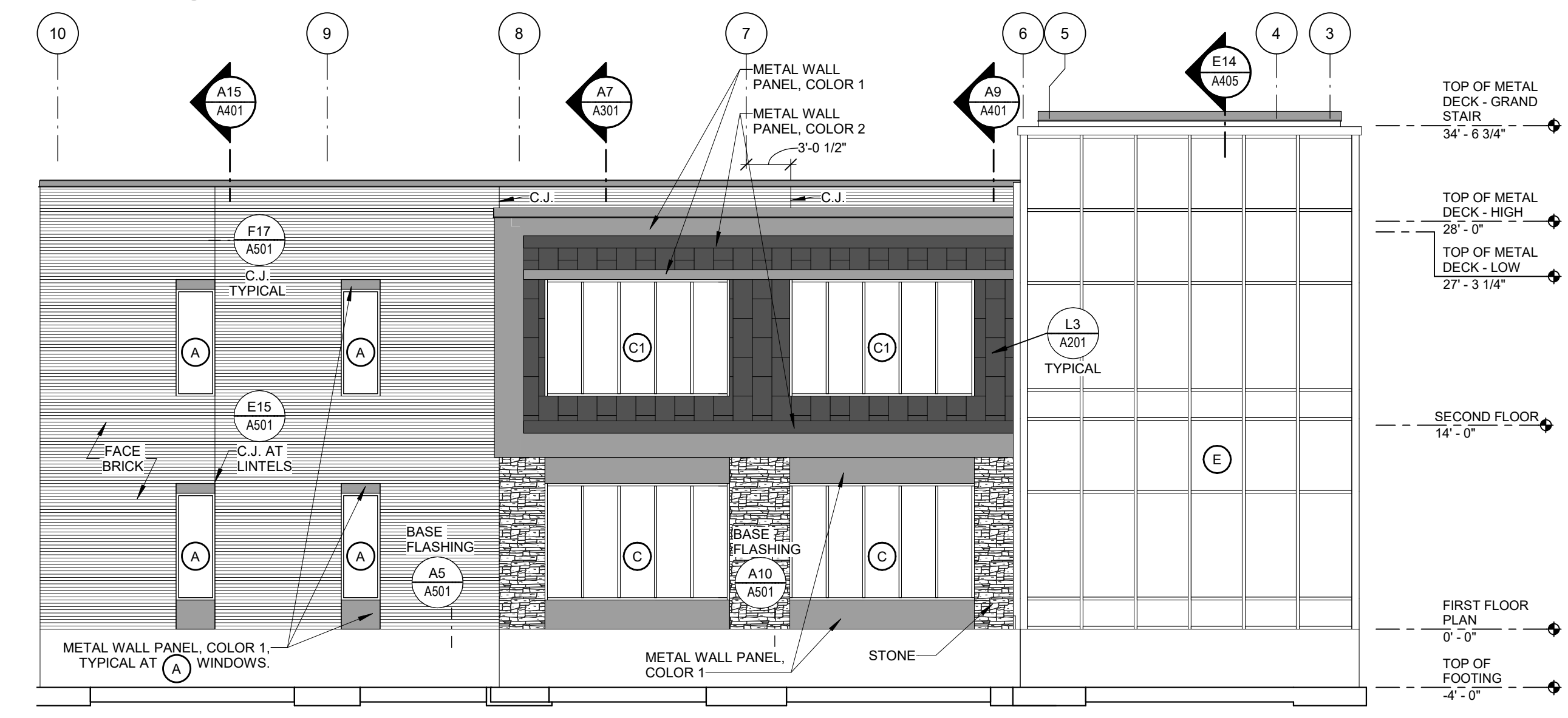
K12 NORTHEAST ELEVATION
1/8" = 1'-0"



G3 WEST ELEVATION
1/8" = 1'-0"

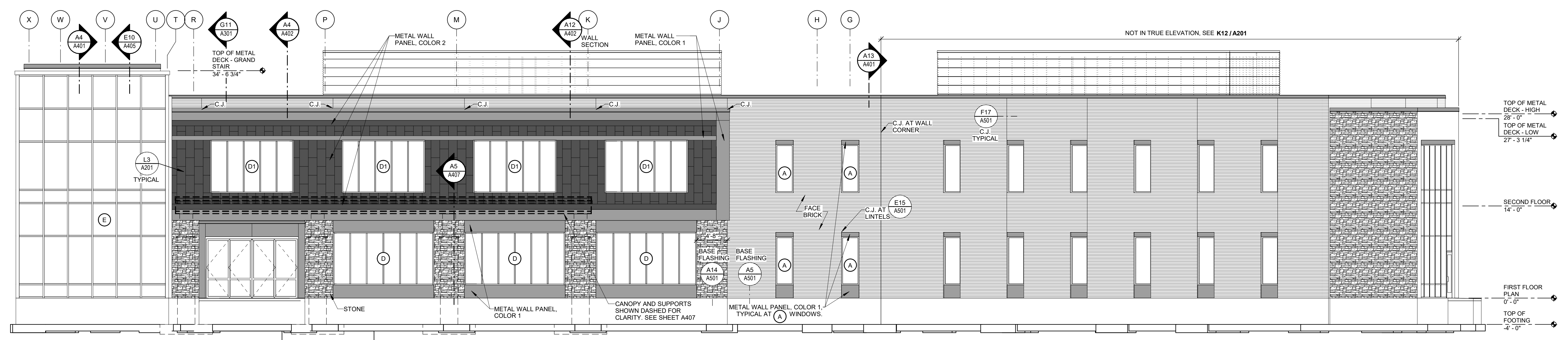


G6 NORTHWEST ELEVATION
1/8" = 1'-0"

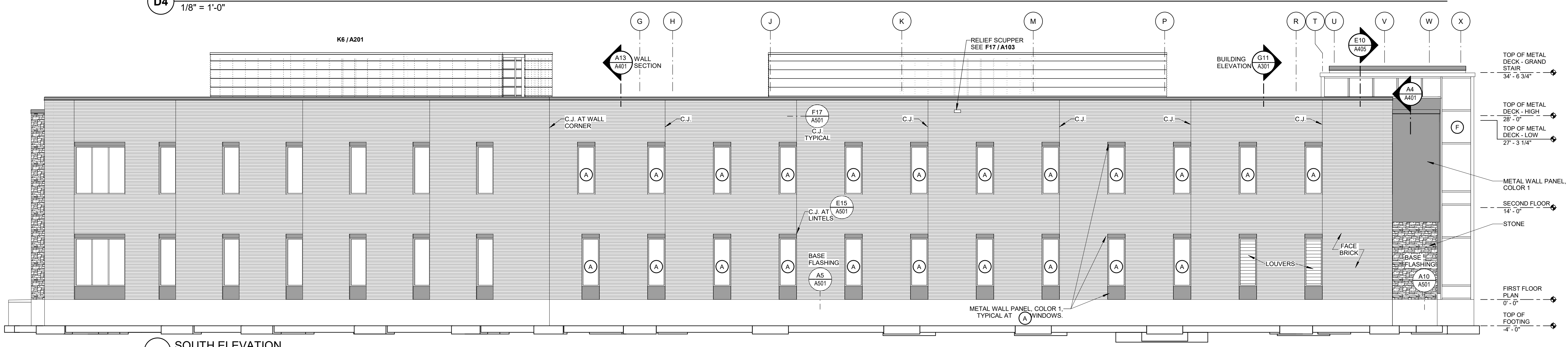


G12 EAST ELEVATION
1/8" = 1'-0"

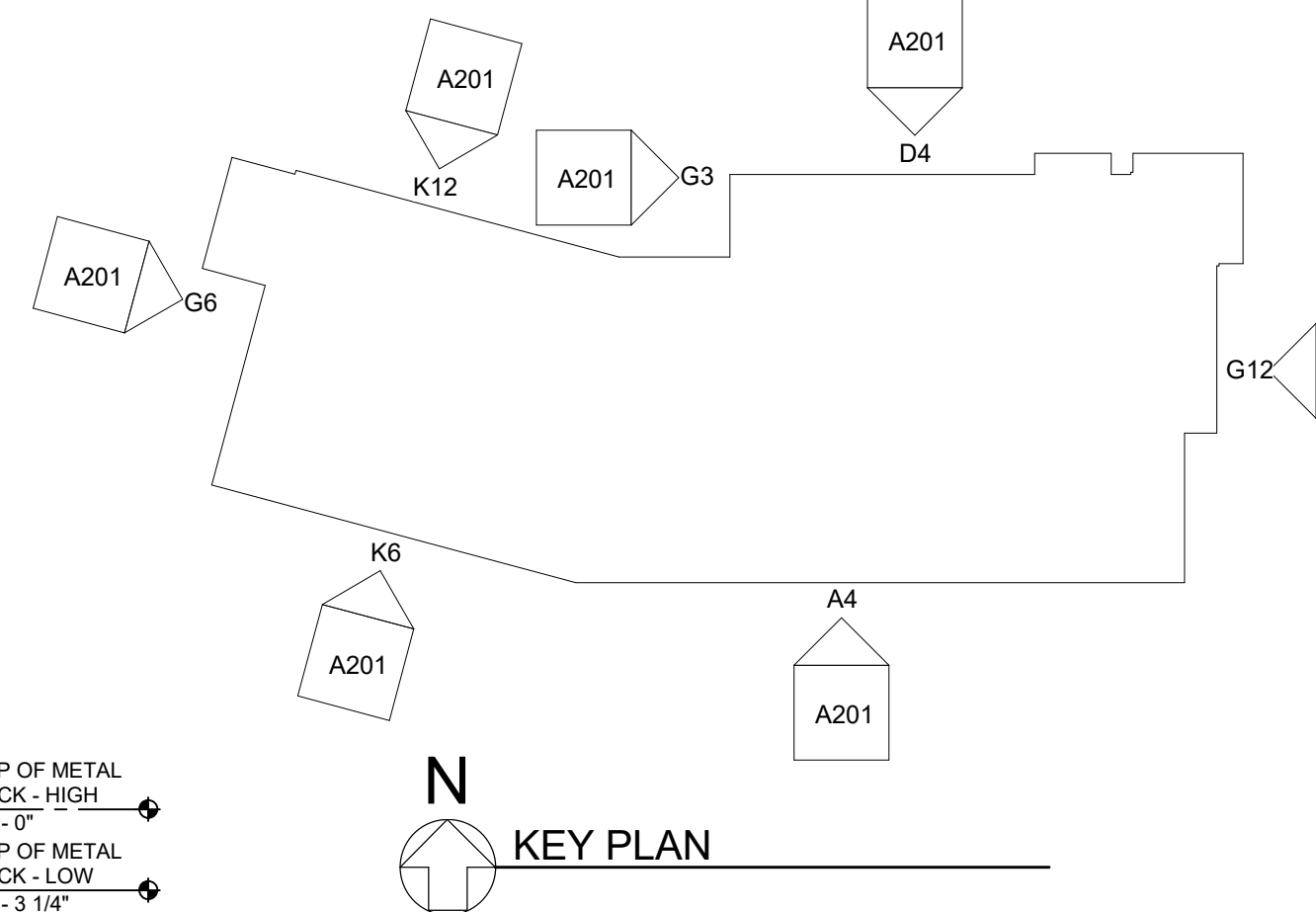
WINDOW DETAIL LEGEND			
WINDOW	HEAD	JAMB	SILL
A	J14 / A504	G14 / A504	E14 / A504
B	J14 / A504	G14 / A504	A14 / A504
C	G10 / A504	E10 / A504	A10 / A504
C1	G5 / A504	E5 / A504	A5 / A504
D	G2 / A504	E2 / A504	A2 / A504
D1	H14 / A505	E14 / A505	A14 / A505
E			
F		H12 / A502	
G		H16 / A502	
H	G10 / A505	D10 / A505	A10 / A505
J	J17 / A505	A2 / A502	
K	K10 / A504	A2 / A502	



D4 NORTH ELEVATION
1/8" = 1'-0"



A4 SOUTH ELEVATION
1/8" = 1'-0"



CITY REVIEW

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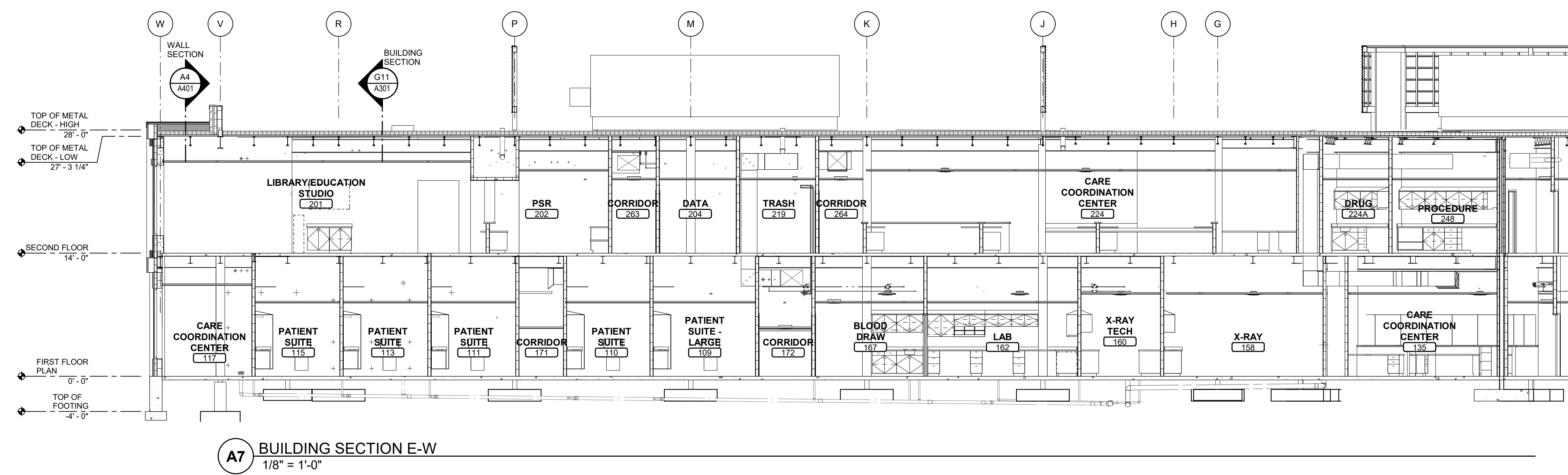
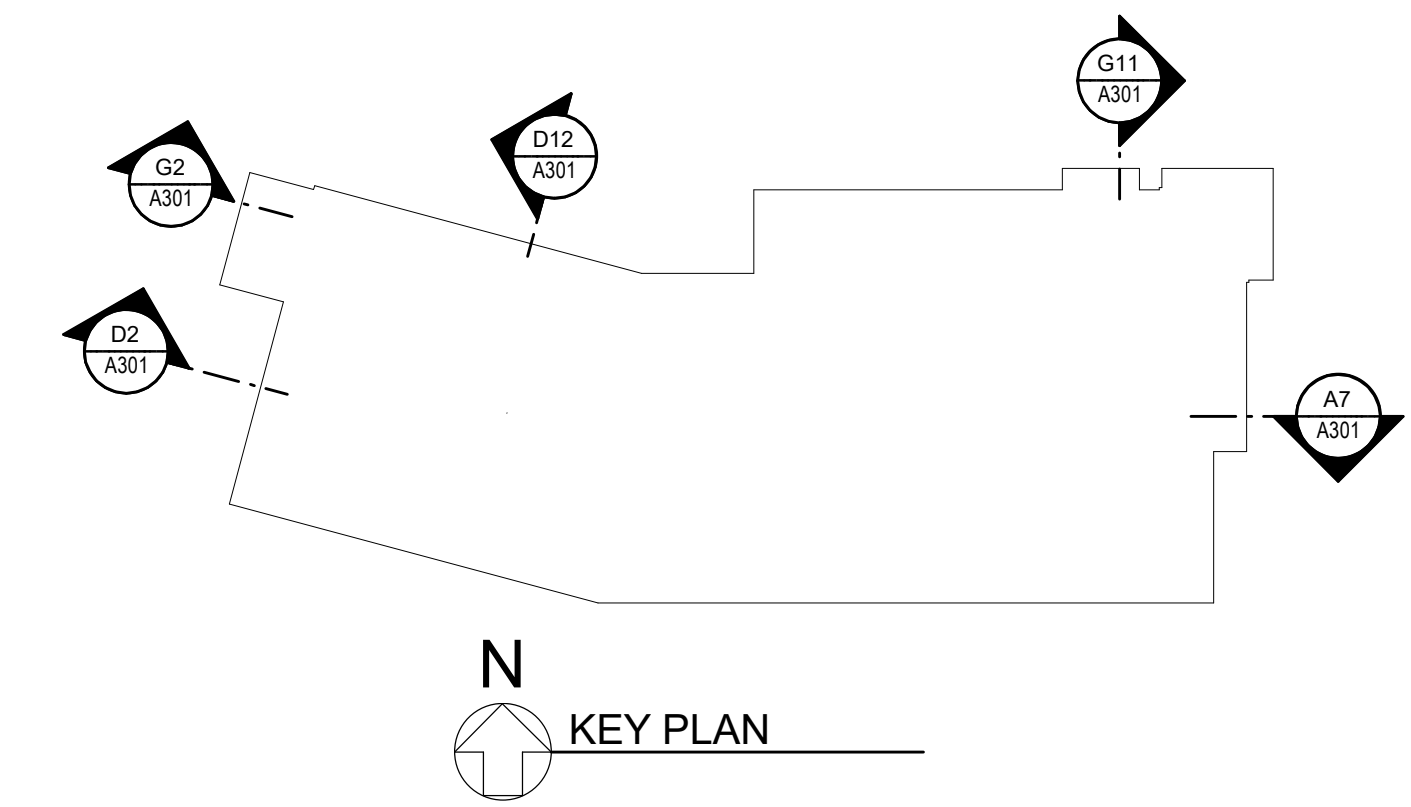
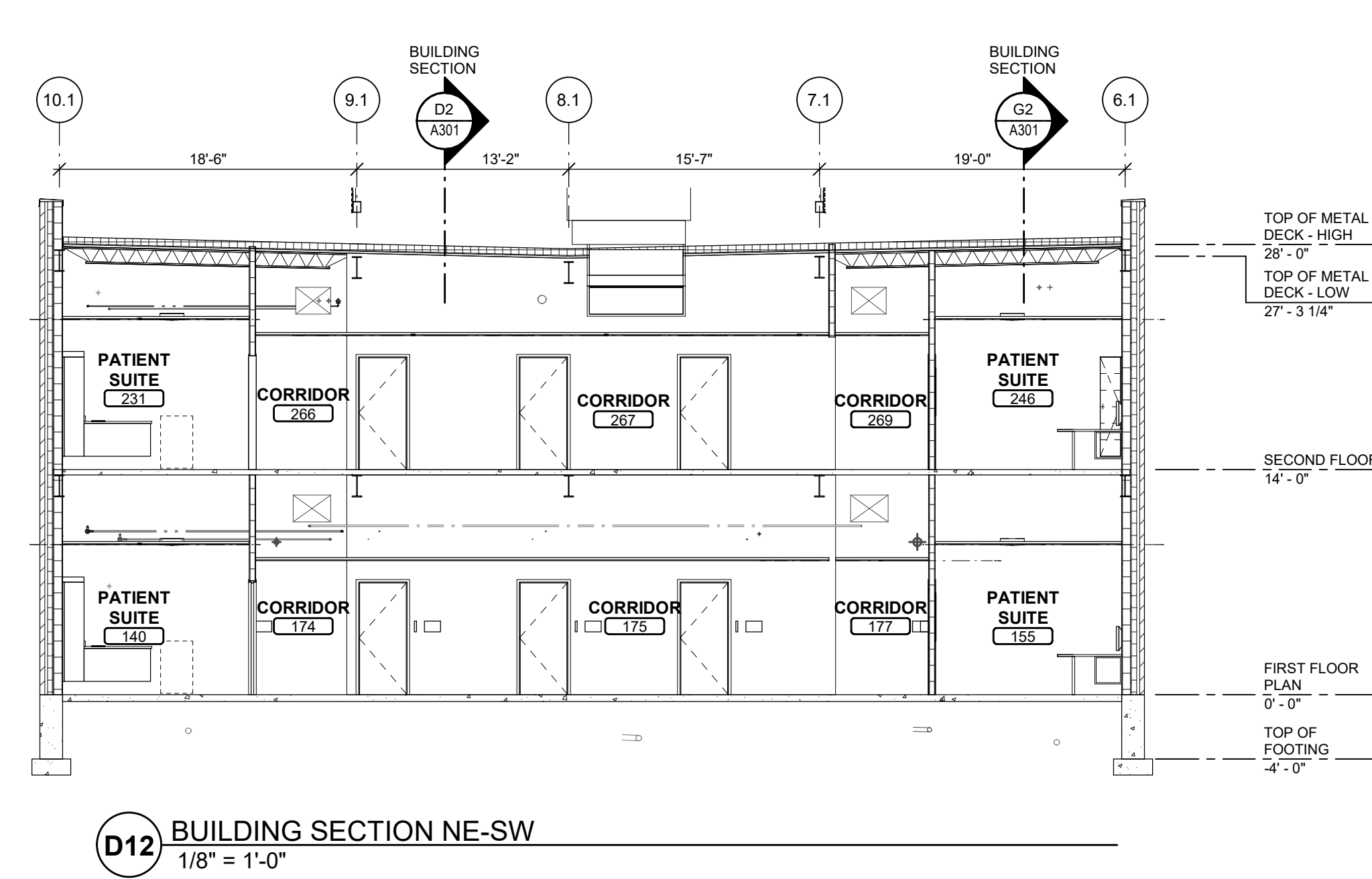
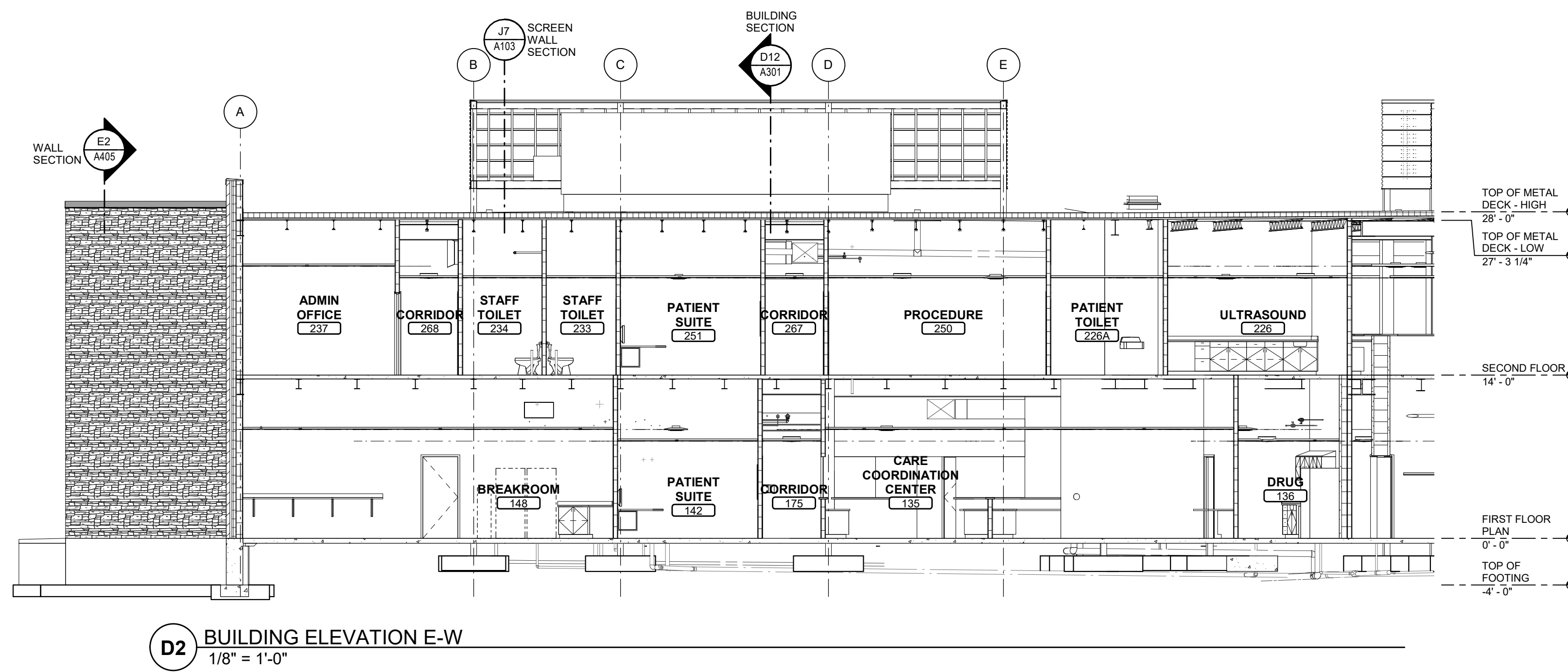
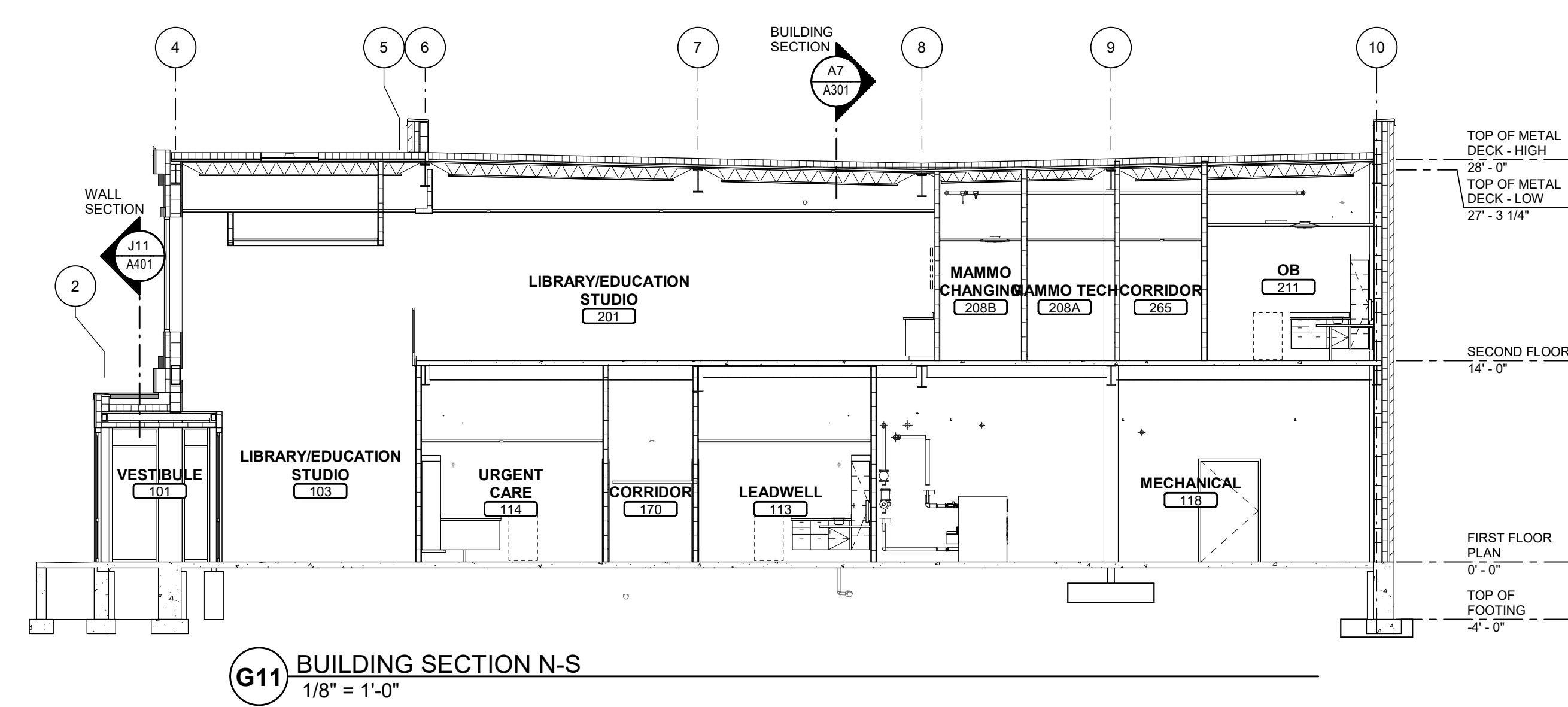
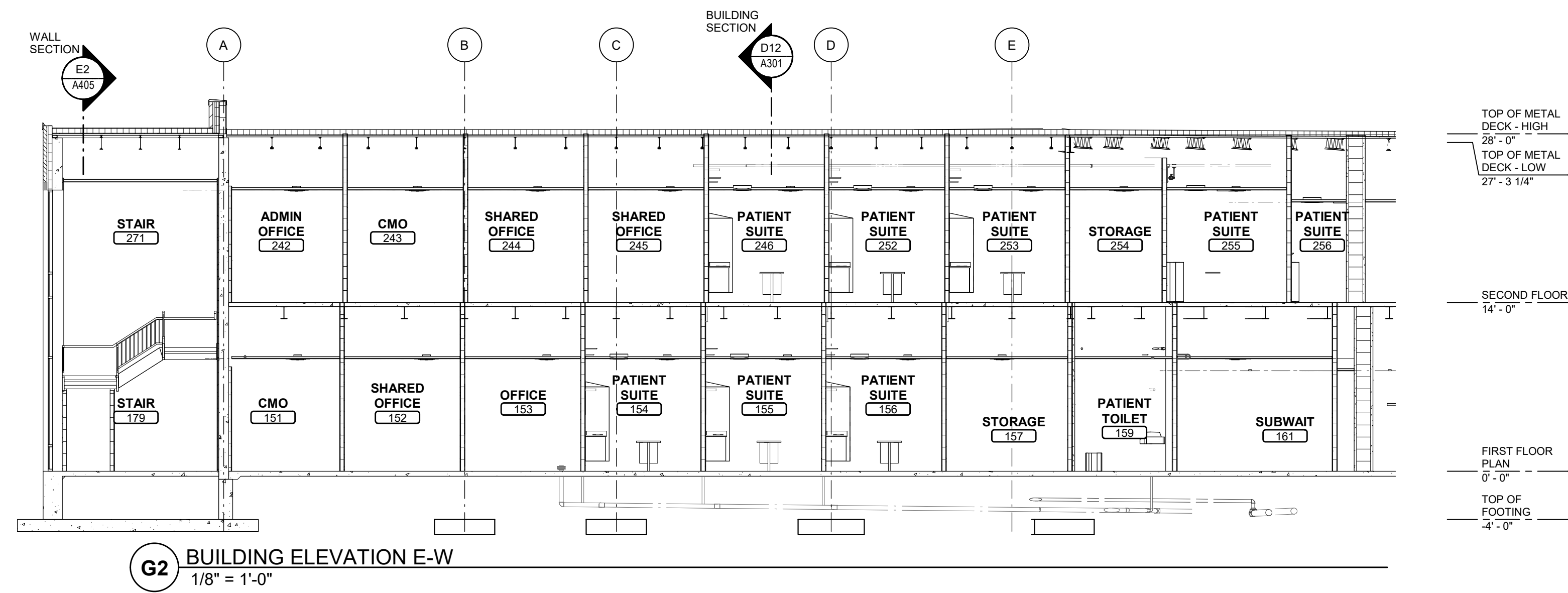
REVISION	DATE
BID PACKAGE 01	07/19/2018
CITY REVIEW	08/03/2018

DATE	COMMISSION
AUGUST 3, 2018	5859.00

BUILDING ELEVATIONS

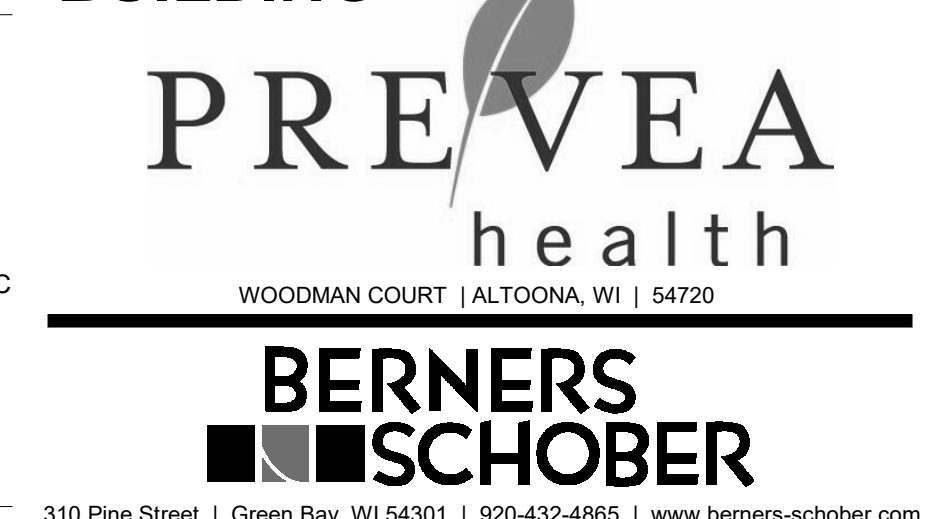
A201

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CITY REVIEW

PREVEA ALTOONA MEDICAL OFFICE BUILDING



REVISION	DATE:
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BUILDING SECTIONS

A301 DATE: AUGUST 3, 2018
COMMISSION: 5859.00

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ELECTRICAL SYMBOLS LEGEND

Table with columns: SYMBOL, DESCRIPTION (MOUNTING), SYMBOL, DESCRIPTION (MOUNTING), SYMBOL, DESCRIPTION (MOUNTING), SYMBOL, DESCRIPTION (MOUNTING). Categories include Lighting Fixtures, Power Equipment, Communications Equipment, Fire Alarm and Detector Devices, Sound System Devices, Security Equipment, Systems Clocks, Exterior Raceways, and Miscellaneous Healthcare Systems.

NOTES: (1) 1" CONDUIT STUBBED UP TO ACCESSIBLE SPACE ABOVE CEILING FROM 4" SQUARE JUNCTION BOX W/ SINGLE GANG DEVICE RING...

(2) (XX) - INDICATES AUTOMATIC LIGHTING CONTROL DEVICE TYPE. REFERENCE SCHEDULE ON SHEET E600.

(3) REFERENCE SWITCH WIRING DETAIL ON SHEET **E500.

(4) REFERENCE RECEPTACLE WIRING DETAIL ON SHEET **E500.

(5) #X - INDICATES QUANTITY AND TYPE OF DROPS.



(6) PROVIDE DATA DROP AT LOCATION. PROVIDE 15FT. OF COILED CABLE ABOVE FINISHED CEILING.

(7) (#) DESIGNATION INDICATES DAMPER OR AIR UNIT SERVED BY THE DUCT DETECTOR. REFERENCE THE FIRE/SMOKE DAMPER SCHEDULE ON SHEET H600 FOR FULL DESIGNATION.

(8) (#) DESIGNATION INDICATES CANDELA OF VISUAL ALARM.

(9) REFERENCE THE SCHEDULE ON SHEET E500.

(10) REFERENCE THE SCHEDULE ON SHEET E600.

* THIS COMPRISES A COMPLETE LIST OF ITEMS. NOT ALL SYMBOLS MAY NECESSARILY BE REPRESENTED ON THIS PROJECT.

DEVICE MOUNTING HEIGHT LEGEND

Table with columns: DESCRIPTION, MOUNTING HEIGHT. Lists various devices like switches, outlets, and detectors with their required mounting heights.

LEGEND NOTES: 1. THE ABOVE LIST OF MOUNTING HEIGHTS SHALL BE USED FOR INSTALLATION OF DEVICES UNLESS NOTED OTHERWISE ON THE DRAWINGS.

2. EXACT MOUNTING HEIGHTS OF DEVICES MAY BE SLIGHTLY ADJUSTED IN THE FIELD TO ACCOMMODATE BLOCK COURSES AND UNIFORMITY OF THE WALL. REFERENCE DEVICE MOUNTING DETAIL --E500.

3. THE ABOVE ITEMS COMPRISE A COMPLETE LIST AND NOT ALL ITEMS MAY BE APPLICABLE TO THIS PROJECT.

ABBREVIATIONS

Table listing abbreviations and their full names, such as AC, ADA, AFF, AFG, AHU, etc.

NOTE: * THIS COMPRISES A COMPLETE LIST OF ITEMS. NOT ALL ABBREVIATIONS MAY NECESSARILY BE REPRESENTED ON THIS PROJECT.

PROJECT GENERAL PLAN NOTES

- 1. REFERENCE THE DEVICE HEIGHT LEGEND ON THIS SHEET FOR MOUNTING HEIGHTS OF ALL WALL MOUNTED DEVICES.
2. ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE FIRE SEALED PER SPECIFICATIONS BY FIRE STOPPING TRADE. EC SHALL COORDINATE WITH GC AND FIRE STOPPING TRADE.

CITY REVIEW

D PREVEA ALTOONA MEDICAL OFFICE BUILDING

Logo for Prevea Health and Berners-Schober. Includes address: WOODMAN COURT | ALTOONA, WI | 54720.

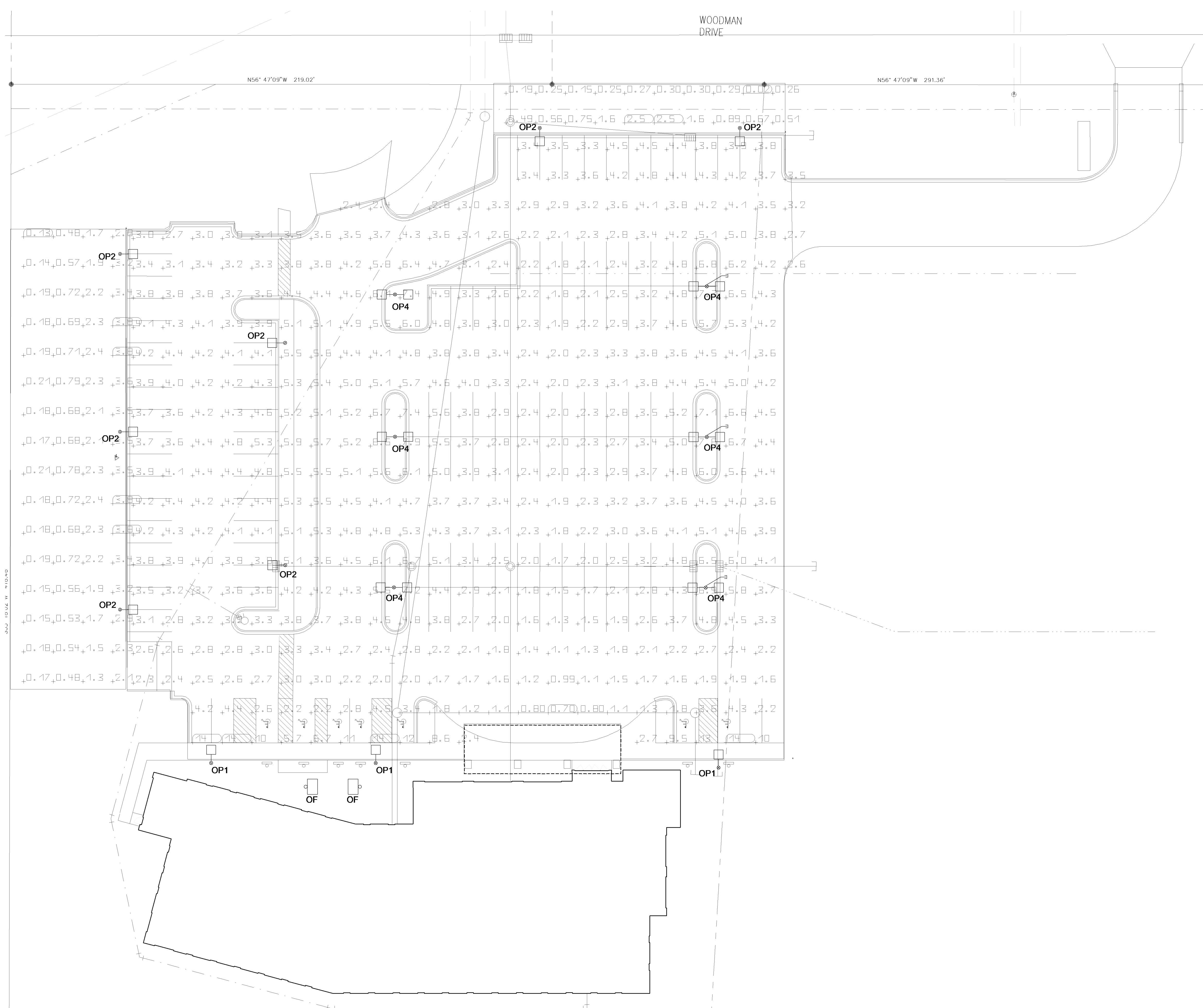
Table with columns: REVISION, DATE. Shows revision history for the project.

Table with columns: B, C, D, E. Contains various project identifiers and codes.

SYMBOLS AND ABBREVIATIONS

E001 DATE: AUGUST 3, 2018 COMMISSION: 5859.00

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PLAN NORTH
 A4 SITE PHOTOMETRIC PLAN
 1" = 20'-0"

CITY REVIEW

PREVEA ALTOONA
 MEDICAL OFFICE
 BUILDING



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REVISION	DATE
BID PACKAGE 01	07/19/2018
CITY REVIEW	08/03/2018

SITE PHOTOMETRIC PLAN

EC101 DATE: AUGUST 3, 2018
 COMMISSION: 5859.00

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LIGHT FIXTURE SCHEDULE

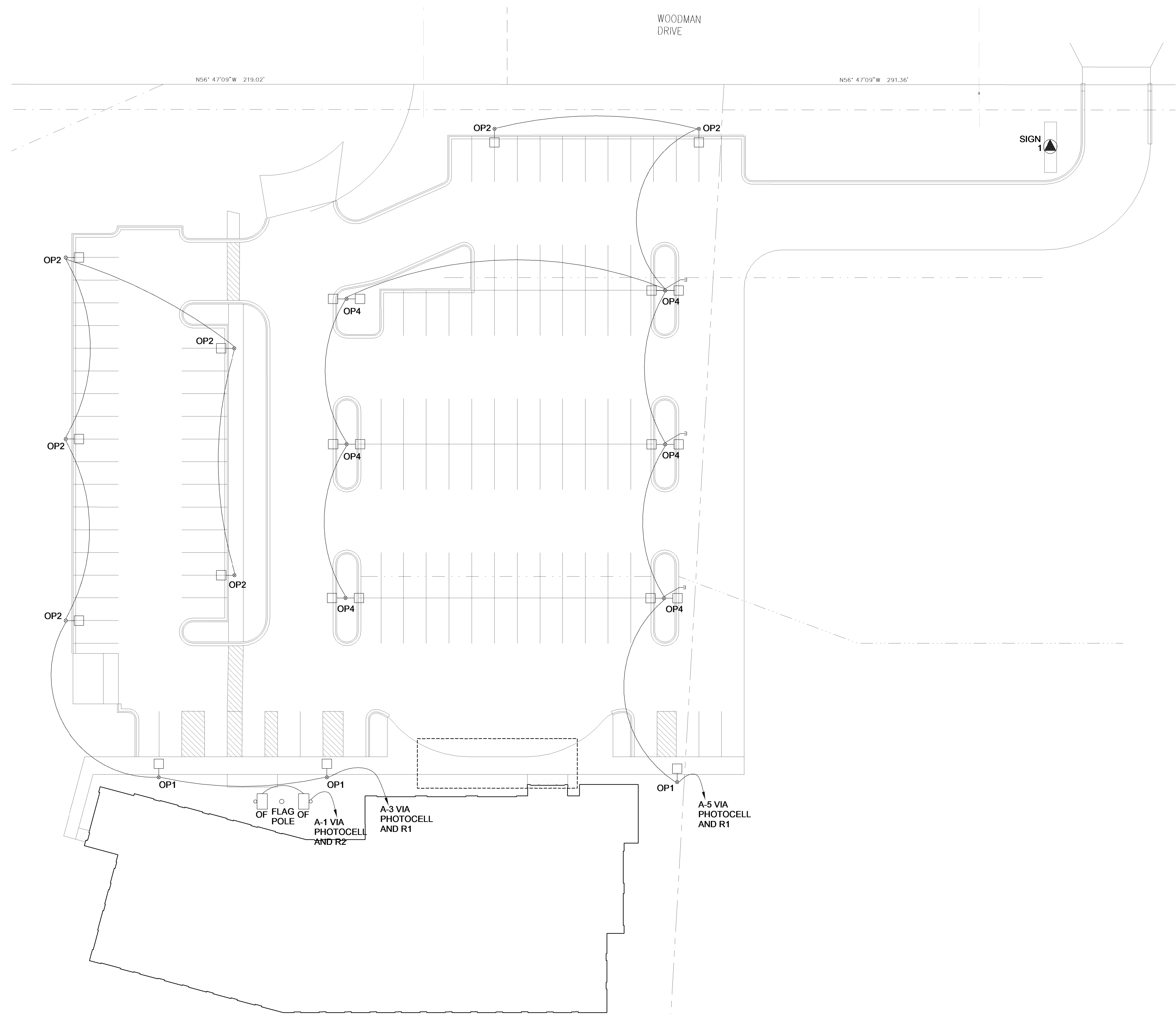
FIXTURE			LIGHT SOURCE			COLOR TEMPERATURE	POWER SOURCE		DESIGNED INPUT WATTS	VOLTAGE	MNTG HEIGHT	FIXTURE DEPTH	NOTES
TYPE	ACCEPTABLE MANUFACTURER/SERIES (IF APPLICABLE)	FIXTURE DESCRIPTION	TYPE	DELIVERED LUMENS	LAMP		DRIVER	BALLAST					
OF	INRIE LIGHTING (VFS SERIES) LSI INDUSTRIES LITHONIA LIGHTING PHILIPS LIGHTING HUBBELL LIGHTING	EXTERIOR FLAG POLE FLOOD LIGHT FIXTURE, KNUCKLE MOUNT, 40 LEDS AT 700MA, NARROW SYMMETRIC ROUND DISTRIBUTION, SURFACE MOUNT TENON WITH SPLIT FITTER AND BARN DOORS, DARK BRONZE FINISH	L	6000 lm	-	4000K	1 / STD	-	94	277	-	-	1
OP1	McGRAW-EDISON (VTS SERIES) LSI INDUSTRIES LITHONIA LIGHTING PHILIPS LIGHTING HUBBELL LIGHTING	EXTERIOR WALKWAY LIGHT POLE, FULL CUT-OFF SINGLE LUMINAIRE, TYPE II DISTRIBUTION, DARK BRONZE FINISH, 12 FT. SQUARE STEEL POLE, DARK BRONZE FINISH, WITH MOTION SENSOR TO REDUCE LIGHT OUTPUT BY 30%.	L	5000 lm	-	5000K	1 / STD	-	55	277	-	-	1,2,3
OP2	McGRAW-EDISON (VTS SERIES) LSI INDUSTRIES LITHONIA LIGHTING PHILIPS LIGHTING HUBBELL LIGHTING	EXTERIOR PARKING LOT LIGHT POLE, FULL CUT-OFF SINGLE LUMINAIRE, TYPE III DISTRIBUTION, DARK BRONZE FINISH, 25 FT. SQUARE STEEL POLE, DARK BRONZE FINISH, WITH MOTION SENSOR TO REDUCE LIGHT OUTPUT BY 30%.	L	18,000 lm	-	5000K	1 / STD	-	235	277	-	-	1,2,3
OP4	McGRAW-EDISON (VTS SERIES) LSI INDUSTRIES LITHONIA LIGHTING PHILIPS LIGHTING HUBBELL LIGHTING	EXTERIOR PARKING LOT LIGHT POLE, FULL CUT-OFF DUAL LUMINAIRES (180° TYPE IV DISTRIBUTION, DARK BRONZE FINISH, 25 FT. SQUARE STEEL POLE, DARK BRONZE FINISH, WITH MOTION SENSOR TO REDUCE LIGHT OUTPUT BY 30%.	L	17,800 lm	-	5000K	1 / STD	-	235 (EACH LUMINAIRE)	277	-	-	1,2,3

ABBREVIATIONS:
 ALO - ACTUAL LUMEN OUT
 BF - BALLAST FACTOR
 B.O.F. - AFF/AFG TO BOTTOM OF FIXTURE
 C.O.F. - AFF/AFG TO CENTER OF FIXTURE
 DM - 0-10V DIMMING DRIVER
 DMX - DMX DRIVER
 EB - ELECTRONIC BALLAST
 ELV - ELECTRONIC LOW VOLTAGE DIMMER
 EX - EXISTING
 F - FLUORESCENT

**HB - HIGH (BF=1.0)
 HID - HID BALLAST
 HPS - HIGH PRESSURE SODIUM
 I - INCANDESCENT
 IS - INSTANT START
 L - LED
 LB - LOW (BF=0.85)
 MAX - MAXIMUM
 MIN - MINIMUM**

**MH - METAL HALIDE
 N - NORMAL (0.85<BF<1.0)
 NLO - NOMINAL LUMEN OUTPUT
 P.A.F. - PAINT AFTER FABRICATION
 PRS - PROGRAMMED START
 PS - PULSE START
 RIF - RADIO INTERFERENCE FILTER
 STD - STANDARD LED DRIVER
 UNIV - UNIVERSAL VOLTAGE 120-277V
 V - VARIES - SEE FLOOR PLANS**

NOTES:
 1. ACCEPTABLE MANUFACTURERS MUST COMPLY WITH SPECIFICATIONS INDICATED IN FIXTURE DESCRIPTION. PRODUCTS NOT EQUAL IN AESTHETICS, LIGHT DISTRIBUTION, CONSTRUCTION QUALITY AND PERFORMANCE WILL NOT BE ACCEPTED.
 2. PROVIDE POLE SIZED PER TOTAL EPA. PROVIDE BOLT COVERS. PROVIDE VIBRATION DAMPENER IN POLE. POLE FINISH TO MATCH LUMINAIRE. PROVIDE FUSING AT HAND POLE.
 3. PROVIDE SENSOR AND DRIVER TO MEET THE IECC 2015 CODE.



PLAN NORTH
A4 SITE NEW WORK PLAN
 1" = 20'-0"

GENERAL NOTES

- CONDUITS ROUTES TO BE VERIFIED PRIOR TO INSTALLATION. ALTERNATIVE ROUTES CAN BE EXPLORED AND INSTALLED UPON APPROVAL FROM THE A/E. COORDINATE FINAL ROUTE WITH ALL TRADES. MAINTAIN RECORD DOCUMENTS PER SPECIFICATIONS.
- ALL CONDUIT INSTALLED UNDERGROUND (EXTERIOR TO BUILDING) SHALL BE BURIED A MINIMUM OF 24" BELOW FINISHED GRADE, WHETHER OR NOT THE CONDUIT IS CONCRETE ENCASED.
- ALL UNDERGROUND FEEDER(S)/CIRCUIT(S) MORE THAN FIVE FEET FROM FOUNDATION WALL SHALL TRANSITION FROM EMT TO PVC CONDUIT. REFERENCE SPECIFICATIONS SECTION 26 05 33.

KEYED PLAN NOTES (THIS SHEET ONLY)

- REFERENCE THE SITE POLE BASE DETAIL ON SHEET E501.
- REFERENCE THE FLOOD LIGHT AT FLAG POLE DETAIL ON SHEET E501.

CITY REVIEW

PREVEA ALTOONA MEDICAL OFFICE BUILDING



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CITY REVIEW	08/03/2018

SITE NEW WORK PLAN

EZ101 DATE: AUGUST 3, 2018
 COMMISSION: **5859.00**

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1303 Lynn Avenue, Altoona, WI 54720


NOTICE OF PUBLIC HEARING
City of Altoona
Certified Survey Map

NOTICE IS HEREBY GIVEN that on **Thursday, August 23, 2018 at 6:15 p.m.** (or as soon thereafter as is practical) there will be a public hearing before the Common Council at Altoona City Hall, 1303 Lynn Avenue, Altoona regarding a Certified Survey Map (CSM) to combine Lots 4 and 5 of the SW Quadrant of River Prairie (parcels #201-1002-06-120 & #201-1002-06-130).

A copy of the proposed CSM is available upon request from the City Clerk's Office. All interested parties are invited to attend or submit your opinion in writing prior to the public hearing to cityhall@ci.altoona.wi.us or mail to Altoona City Hall, 1303 Lynn Avenue, Altoona, WI 54720. If you have any questions, please call 715-839-6092.

The Plan Commission will be making a recommendation at its Monday, August 13, 2018 meeting starting at 6:00 p.m.

Dated this 3rd day of August, 2018.


Cindy Bauer
City Clerk

Published: Thursday, August 9 and Wednesday, August 15, 2018

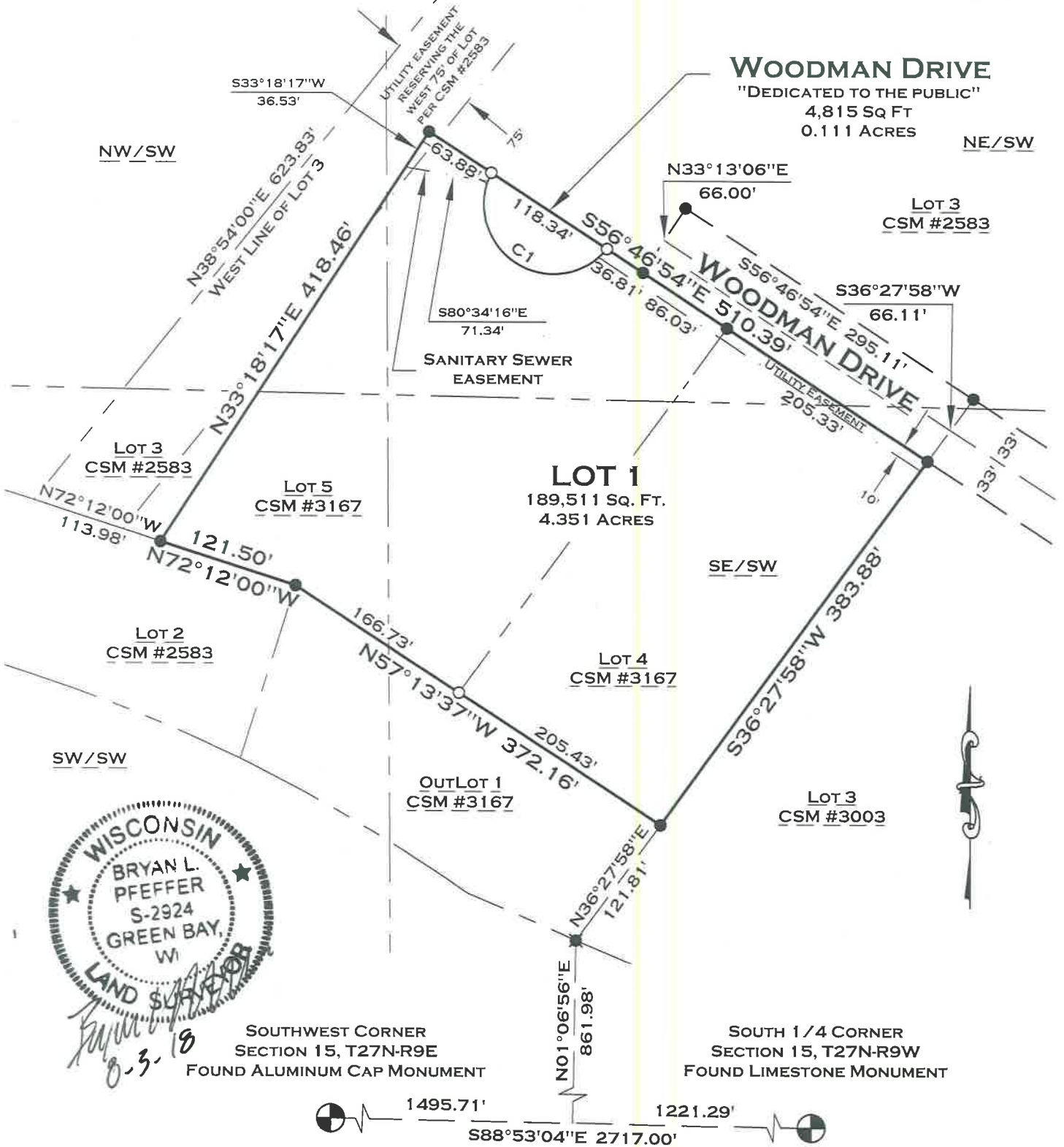
Preliminary

CERTIFIED SURVEY MAP

ALL OF LOTS 4 AND 5, VOLUME 17 OF CERTIFIED SURVEY MAPS, PAGE 405, MAP NUMBER 3167, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 15, T27N-R9W, CITY OF ALTOONA, EAU CLAIRE COUNTY, WISCONSIN

CURVE TABLE

CURVE #	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT BEARING	SECOND TANGENT BEARING
C1	167°52'54"	59.50'	174.34'	S56°46'54"E	118.34'	S27°09'33"W	N39°16'39"E



WISCONSIN
 BRYAN L. PFEFFER
 S-2924
 GREEN BAY, WI
 LAND SURVEYOR
 8-3-18

SOUTHWEST CORNER
 SECTION 15, T27N-R9E
 FOUND ALUMINUM CAP MONUMENT

SOUTH 1/4 CORNER
 SECTION 15, T27N-R9W
 FOUND LIMESTONE MONUMENT



SCALE: 1" = 120'



LEGEND

- EXISTING 3/4" REBAR
- EXISTING 1" IRON PIPE
- SET 1" X 18" IRON PIPE WITH CAP WEIGHING 1.38 LBS./LIN. FT.
- ⊙ RECORDED COUNTY MONUMENT

BEARINGS REFERENCED TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 15, T27N-R9E. RECORDED TO BEAR S88°53'04" E

ROBERT E. LEE & ASSOCIATES, INC.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD
 HOBART, WI 54155
 INTERNET: WWW.RELEEINC.COM



Preliminary

CERTIFIED SURVEY MAP _____

SURVEYOR'S CERTIFICATE:

I, BRYAN L. PFEFFER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT BY THE ORDER AND UNDER THE DIRECTION OF THE OWNERS LISTED HEREON, I HAVE SURVEYED AND MAPPED LOTS 4 AND 5 OF VOLUME 17 CERTIFIED SURVEY MAPS, PAGE 405, AS MAP NUMBER 3167, RECORDED AS DOCUMENT NUMBER 1129471, BEING PART OF SECTION 15, T27N-R9W, CITY OF ALTOONA, EAU CLAIRE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 194,326 SQUARE FEET (4.461 ACRES) OF LAND MORE OR LESS.

THIS CERTIFIED SURVEY MAP IS NOT A DIVISION OF PROPERTY BUT A COMBINING OF AND DEPICTION OF THE PARCELS RECORDED IN DOCUMENT No. 1129471 INTO A SINGLE PARCEL AND DESCRIPTION

THAT THE WITHIN MAP IS A TRUE AND CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES IN THE SURVEYING AND MAPPING OF THE SAME.

DATED THIS _____ DAY OF _____, 2018.

BRYAN L. PFEFFER PLS #2924
ROBERT E. LEE & ASSOCIATES, INC.



Preliminary CERTIFIED SURVEY MAP _____

CORPORATE OWNER'S CERTIFICATE

CITY OF ALTOONA, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, MAPPED AND DEDICATED AS REPRESENTED HEREON. CITY OF ALTOONA DOES FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

CITY OF ALTOONA

WITNESS THE HAND AND SEAL OF SAID OWNERS THIS _____ DAY OF _____, 2018.

BRENDAN PRATT, CITY OF ALTOONA MAYOR

CINDY BAUER, CITY OF ALTOONA CLERK

STATE OF WISCONSIN)
EAU CLAIRE COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018, THE ABOVE NAMED TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

(PRINT NAME)
MY COMMISSION EXPIRES: _____

CERTIFICATE OF THE CITY PLAN COMMISSION:

THE CITY OF ALTOONA HEREBY CERTIFIES THIS CERTIFIED SURVEY MAP COMPLIES WITH THE CITY OF ALTOONA'S MUNICIPAL CODE SUBDIVISION ORDINANCE AND IS APPROVED BY THE ALTOONA PLAN COMMISSION PURSUANT TO THE SUBDIVISION ORDINANCE

APPROVED THIS _____ DAY OF _____, 2018 BY THE ALTOONA COMMON COUNCIL

BRENDAN PRATT, CITY OF ALTOONA MAYOR



INTERGOVERNMENTAL COOPERATIVE AGREEMENT FOR ROADWAY RECONSTRUCTION OF CTH KB WITHIN THE ALTOONA CITY LIMITS

I. PARTIES

This Agreement is between the City of Altoona (“City”) located at 1303 Lynn Avenue, Altoona, WI 54720 and Eau Claire County (“County”) Eau Claire County, Wisconsin, a quasi-municipal corporation, located at 721 Oxford Avenue, Eau Claire, WI 54703.

II. TERM OF CONTRACT

Services under this Agreement shall commence August 23, 2018 and shall continue through December 31, 2019.

III. PURPOSE OF CONTRACT

The purpose of this contract is to complete roadway reconstruction on CTH KB (Bartlett Avenue) from CTH A (3rd Street) to **Walden Court (STA 27+50)**. This Agreement is authorized by Wis. Stat. § 66.0301.

IV. SCOPE OF SERVICES

A. The City of Altoona is Municipal contract holder and lead for project and agrees to:

1. Review and approve all plans and specifications as required for construction and Coordinate approval with Eau Claire County Highway Department.
2. Assist in dealing with public concerns.
3. Pay for the following:
 - a. All Sanitary, Water, & Storm Sewer items;
 - b. All street construction items except the center driving lane(s) width of 24’(feet) consisting of the following work items:
 - i. Asphalt pavement
 - ii. Base course
4. All Engineering, Testing, & Construction Management.

B. The County shall agree to the following: (or) The agrees to:

1. Review and approve all plans and specifications as required for construction.
2. Assist in dealing with public concerns.
3. Pay for all asphalt pavement and base course materials placed inside the center 24-foot wide roadway section in the project limits described above, as set forth in Exhibit A.

V. COST EXEMPTIONS

None needed; construction work to be performed entirely by contract labor.

VI. FINAL PROJECT AUDIT

- A. Final audit of project costs certified by all parties to agreement.
- B. Project quantities certified by City of Altoona & Eau Claire County Highway Department.
- C. City of Altoona will invoice Eau Claire County for work completed according to this agreement.

VII. NON-APPROPRIATION OF FUNDS

The City and County reserve the right to terminate this Agreement in whole or in part without penalty due to non-appropriation of necessary funds by the Board, the State of Wisconsin, or the Federal Government.

VIII. NOTICES

Notices required or deemed advisable under this Agreement shall be placed in writing and delivered personally or by registered or certified mail upon the City to: David Walter, City Engineer, 1303 Lynn Avenue, Altoona, WI 54720; and upon the County to Jon Johnson, Highway Commissioner, 2000 Spooner Avenue, Altoona, WI 54720.

XI. INDEPENDENT STATUS.

The City and County recognize they are independent agencies for all purposes, including workers compensation, and not employees, or agents of each other.

X. MUTUAL INDEMNIFICATION.

The parties agree fully to indemnify and hold one another harmless from and against all claims, actions, judgments, costs, and expenses, arising out of damages or injuries to third persons or their property, caused by the fault or negligence of the said party, its agents, or employees, in the performance of this Agreement. The parties shall give to each other prompt and reasonable notice of any such claims or actions and the other party shall have the right to investigate, compromise, and defend the same.

XI. LIABILITY.

It is mutually agreed by the City and County that, as related to this Agreement, any loss or expense or resultant legal liability, involving personal injury or property damage, will be the responsibility of the party whose officer, employee or agent may have caused the loss or expense by his or her respective actions, acts, activities or omissions which occurred or may occur in connection with this agreement.

XII. WAIVER OF BREACHES

No waiver of any breaches of this Agreement shall be held to be a waiver of any other or any subsequent breaches. All remedies afforded in this Agreement shall be considered to be cumulative and in addition to any other remedies provided by law.

XIII. SEVERABILITY

Should any article or any part of any article of this Agreement be rendered void, invalid, or unenforceable by a court of law, for any reason, such a determination shall not render void, invalid, or unenforceable any other article or any part of any article in this Agreement.

XIV. JURISDICTION AND VENUE

The laws of the State of Wisconsin shall govern this Contract and executed amendments thereto. Venue for all legal proceedings arising out of this Contract, or breach thereof, shall be exclusively in Eau Claire Circuit Court, Eau Claire, Wisconsin.

XV. SECTION HEADINGS

The headings of the several sections, and any table of contents appended hereto, shall be solely for convenience of reference and shall not affect the meaning, construction or effect hereof.

XVI. STATUTORY PROTECTIONS

It is agreed by the parties that nothing in this contract, including but not limited to indemnification and hold harmless clauses, shall in any way constitute a waiver on the part of the City or County of an immunity, liability limitation or other protection available to the City or County under any applicable state or other law.

XVII. NON-ASSIGNMENT OF AGREEMENT

The parties agree that there shall be no assignment or transfer of this Agreement, nor of any interests, rights or responsibilities herein contained, except as agreed to in writing.

XVIII. MODIFICATIONS TO AGREEMENT

There shall be no modifications to this Agreement, except in writing, signed by both parties.

XIX. EXECUTION

This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same agreement.

XX. INTEGRATION OF AGREEMENT

The entire agreement of the parties is contained herein, and this Agreement supersedes all previous agreements, whether written or oral and all negotiations as well as any previous agreements presently in effect between the Lessee and the Lessor relating to the subject matter.

XXI. AUTHORITY TO ENTER INTO AGREEMENT

By signing below, the parties affirm and acknowledge that they have read and understand this Agreement and its Attachments, if any, consisting of three (3) typewritten pages; they have authority to enter into this Agreement on behalf of the Entity, Corporation, or Lessor they are signing for; they are knowingly, freely, and voluntarily entering into this Agreement; and that they accept and agree to be bound by the terms and conditions of this Agreement and its Attachments as outlined in this Agreement.

EAU CLAIRE COUNTY BY:

JON JOHNSON, HIGHWAY COMMISSIONER

(Date)

ALTOONA CITY BY:

BRENDAN PRATT, MAYOR

(Date)

MIKE GOLAT, CITY ADMINISTRATOR

(Date)

EXHIBIT A

ITEM DESCRIPTION	UNIT	ITEM NO.	TOTAL QUANTITY	BID PRICE	EXTENDED AMOUNT
Crushed Aggregate Base, Roadway	CY	2225.0000	997	\$ 27.50	\$ 24,417.5
HMA, Binder 3"	SY	2513.0030	4533	12.58	\$ 57,025.14
HMA, Surface 2"	SY	2513.0120	4533	8.21	\$ 37,215.93
				Total Cost	\$ 118,658.57

Calculations for Total Quantity

Base Course

$$1700' \times 24' \times .66' = 997 \text{ CY (CV)}$$

HMA Binder

$$(1700' \times 24')/9 = 4533 \text{ SY}$$

HMA Surface

$$(1700' \times 24')/9 = 4533 \text{ SY}$$



**NOTICE
CITY OF ALTOONA**

The following named person and firm has applied to the Common Council of the City of Altoona, Wisconsin for a Class "A" Retailers' License to sell fermented malt beverages at the following location in the City of Altoona.

B & L Gray LLC
DBA. The Store & More
1032 Oak Drive, Suite B
Altoona, WI 54720

Dated August 10, 2018
Published August 15, 16, 17, 2018

A handwritten signature in black ink that reads "Cynthia Bauer". The signature is written in a cursive, flowing style.

Cynthia Bauer
City Clerk
City of Altoona

NO MATERIALS

NO MATERIALS

NO MATERIALS