

ALTOONA PARKS & RECREATION COMMITTEE AGENDA

January 20, 2020 at 6:00 PM

Parks & Recreation Office

1419 Front Porch Place

1. Call Meeting to Order
2. Roll Call
3. Maintenance Report
4. Recreation Report
5. Discuss/consider approval of the minutes from the December 16, 2019 Parks & Recreation Committee Meeting.
6. Update on the Veterans Tribute Trail by the Eau Claire County Veterans Tribute Foundation, Inc.
7. Discuss/consider proposal by the Lion's Club to install a drinking fountain in River Prairie
8. Update on 10th Street Rec Center
9. Discuss/consider approval of Resolution 1B-20 establishing the required value of fees in lieu of dedication of parkland for 2020.
10. Public Comments and Concerns
11. Adjournment

Debra Goldbach
Recreation Manager
Altoona Parks & Recreation Department

ALTOONA PARKS & RECREATION COMMITTEE AGENDA SUMMARY

January 20, 2020 at 6:00 PM

Parks & Recreation Office

1419 Front Porch Place

Item #6 Update on the Veterans Trail by the Eau Claire County Veterans Tribute Foundation, Inc.

Representatives from the Eau Claire County Veterans Tribute Foundation, Inc. will be present at the Parks and Recreation Committee to update the Council on the Veterans Tribute Trail.

There is also an open house event scheduled for the Veterans Tribute Trail. At this event, members of the Veterans Tribute Foundation will provide an update on their plans for the Veterans Tribute Trail. The date and time is as follows:

Veterans Tribute Trail Open House

Date/Time: Wednesday, February 5, 2020 from 6–8PM

Location: River Prairie Center

1445 Front Porch Place

Altoona, WI 54720

Item #7 Discuss/consider proposal by the Lions Club to install a drinking fountain in River Prairie Park.

The Lion's Club, including both the Altoona and Town of Seymour chapters, have offered to donate and install one of their Lion-branded drinking fountains in River Prairie. A picture of a Lion's fountain is attached. The City has identified two viable places to install the fountain in River Prairie as reflected on the attached map. Two existing outside drinking fountains are currently located in River Prairie, one by the large lower pavillion and one on the new restroom building; a third is located inside the River Prairie Center in the hallway outside of the bathrooms. Staff members are seeking guidance from the Committee on whether to accept the offer, and the Committee's preferred location if accepted.

Item #8 Update on the 10th Street Rec Center.

Please see the attached documents from Lien & Peterson Architects, Inc

Item #9 Discuss/consider approval of Resolution 1B-20 establishing the required value of fees in lieu of dedication of parkland for 2020.

See Enclosed:

- Staff Report 20-01D “Parkland Dedication”
- Proposed Resolution 1B-20

Providing adequate parkland is widely accepted as a fundamental function of government throughout the U.S. One method of ensuring provision of adequate and desirable public lands is to require dedication of land or impact fees to support acquisition of property. This tactic is practiced by many communities throughout Wisconsin, and is specifically enabled through several provisions within Wisconsin Statutes.

As further summarized in the enclosed Staff Report 20-01D, Altoona has required parkland dedication since at least 1981. The most recent revision to that area of municipal code was 2002 (Ord 4A-02), wherein, among other things, a procedure and formula was established to annually adjust fees in lieu of land dedication. This procedure stipulates that the City Council annually consider a Resolution where those fees would be illustrated.

The enclosed proposed Resolution 1B-20 refers to existing municipal code and State Statute to enumerate the parkland dedication fees for 2020. The resolution does not change any existing ordinance, code or policy. Despite the Council having not considered a similar resolution in many years, the parkland dedication requirements have been enforced.

The Plan Commission will discuss this Resolution at their meeting scheduled for January 21th and 6:30pm, and by the Council on January 23rd.

Staff recommends approving the Resolution confirming the parkland dedication fees for 2020. Staff recommends examining the sufficiency of the dedication provision and existing fee levels in the code in relationship to achieving the parkland service levels outlined in the Comprehensive Plan and Parks Plan (once adopted).

Suggested Motion: I move to recommend approval / not approval of Resolution 1B-20 confirming parkland dedication fees.

ALTOONA PARKS & RECREATION COMMITTEE MINUTES

December 16, 2019 at 6:00 PM

Parks & Recreation Office

1419 Front Porch Place

1. Call Meeting to Order
Meeting called to order at 6:00pm

2. Roll Call
Members Present: Bill Hoepner, Tim Sexton, Dean Roth, Mike Torud
Members Absent: Dan Gluch, Matt Michels, Bruce Thielen
Staff Present: Debra Goldbach Recreation Manager, Ben Coenen Parks Foreman, Erin Turner Recreation Coordinator, Josh Clements City Planner, Mike Golat City Administrator, Dave Walters City Engineer/Public Works Director
Others Present:

3. Maintenance Report
*Since the last meeting the majority of time has been spent plowing snow

4. Recreation Report
*Had breakfast with Santa on December 7th with approximately 150 attending
*Holiday Glow Tree Lighting was on December 8th which included craft stations, hot chocolate station, reindeer, horse drawn wagon rides and the high school chamber choir
*Annual parent night was December 13th with 35 in attendance. We showed the movie Small Foot, decorated sugar cookies and made Christmas ornaments
*Concert series committee met and we selected the bands for 2020 KIC and ROTR series
*Currently working on:
 - Candle Light Snowshoe Hike taking place on January 18
 - 2019 Program Numbers
 - The Spring/Summer brochure which will go to press February/March
 - Summer concert series music contracts and food truck RFP
 - July 4th event
 - Small Town Tournament

5. Discuss/consider approval of the minutes from the November 25, 2019 Parks & Recreation Committee Meeting

Member Hoepner moves to approve the November 25, 2019 Parks & Recreation Committee Meeting minutes and Member Torud seconded. Motion Carried.

6. Presentation on proposed new 10th Street Recreation Center; possible action to follow.
 - *Since opening the River Prairie Center, there have been conflicts with using the building for classes due to interested rentals
 - *Middle of summer there was an offer on a property in River Prairie Park. At this time the City talked about utilizing space in proposed building for programming
 - *Instead proposed new a recreation center be built in 10th Street Park
 - *Jim Berg who works for Lyman Lumber helped with preliminary drawings
 - *The City has now contracted with Lien & Peterson Architects, Inc.
 - *The building is being designed as a community center which can be used by citizens for birthday parties, reunions, classes, etc.
 - *Space will be multi-functional and accommodate Parks & Recreation Classes and the 10th St. Recreation Center Program while also being available for home rentals
 - *The hall part of the building is almost 2,000 square feet
 - *Rental space could be rented as a whole or half the room
 - *Counters along edges for crockpots
 - *Office/storage area
 - *Initially the building included built in storage for the high school tennis teams; however, now the school may utilize a shed which would be closer to the tennis courts
 - *The building will now be getting relocated to near the current swing set so the school would have the option of expanding the tennis courts in the future
 - *500,000 budget to tear down old recreation center and to build new
 - *Wood framed, vinyl sided and windows
 - *Brick facade on bottom of building facing north and ninth street
 - *Sprinkler system will be in the building
 - *Banquet space: rectangle- 198 capacity combined; approximately 100 on each side
 - *Park & Recreation will utilize for classes/programming and home rentals
 - *Projector system for class opportunity

7. Discuss Cinder City Park Drainage & Pavement Improvements 2020 capital project
 - *The Cinder City Park Drainage and Pavement Improvements have been planned for many years
 - *Parking lot is in bad shape
 - *Plan is to be replacing all pavement and taking care of long-standing drainage issue with dugout on the first base line of the south field
 - *Intent of this agenda item is for the committee to start thinking about what changes, if any, for Cinder City Park as this would be the ideal time.

8. Discuss Parks Plan

*Bike/pedestrian portions of the plan have been being written

*Josh would like committee members and staff to look at the trails map and make sure we are making the connections we think are important

*Idea is to insure we fill gaps and makes sure all neighborhoods are within 2-3 blocks of pedestrian facilities

*Long term goal is to connect Fairway Park to Centennial Park

*Good to have map in place so when developments occur the City will ask for them to put in the trails

*Plan will make sure area around Bartlett Avenue is encompassing safe routes to school

*Fairfax will be next project in 2021 which could have restraints as it is federally funded

9. Public Comments and Concerns

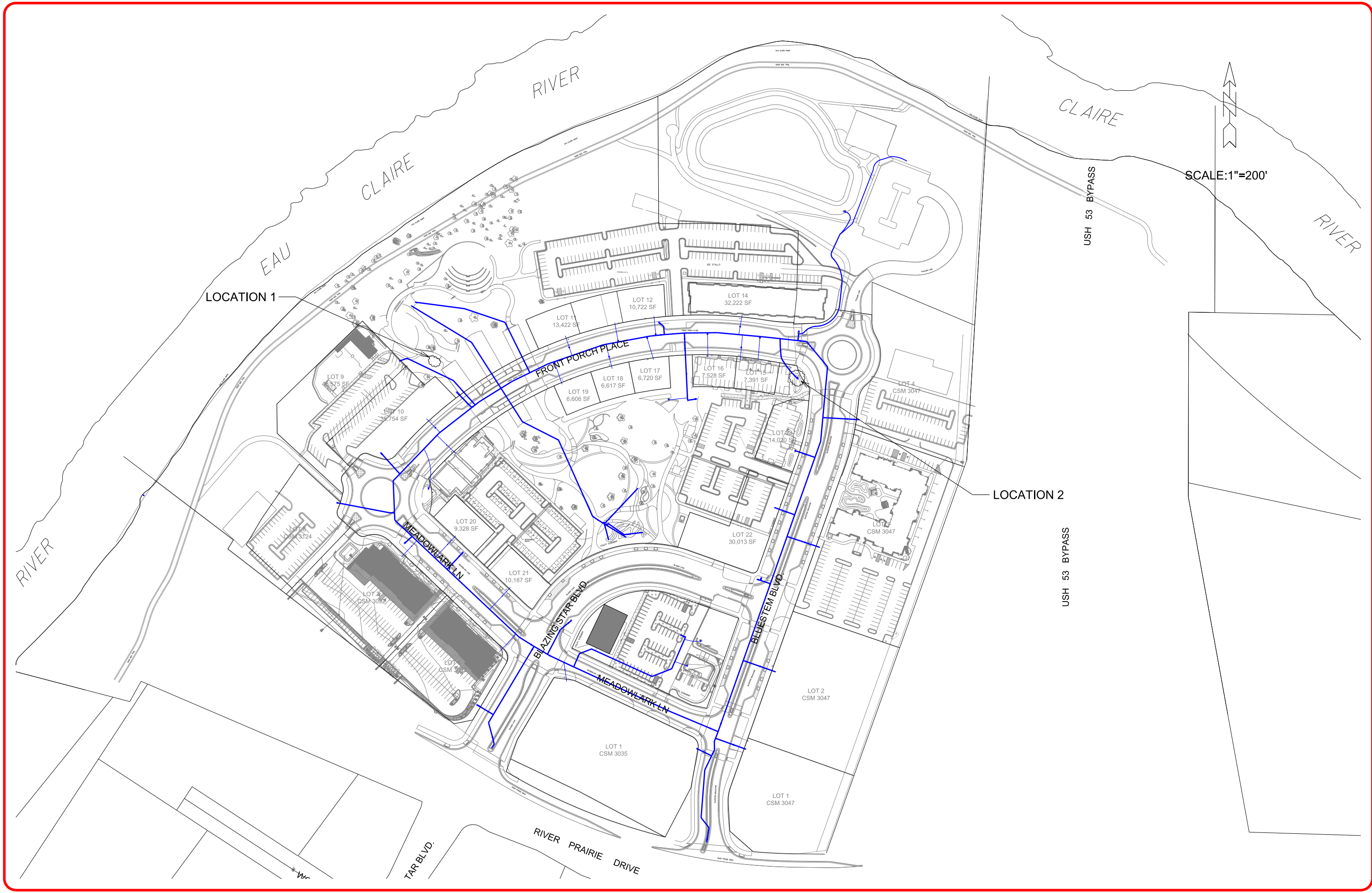
*Thank you CORBA for cleaning up paths where trees were down in Otter Creek trails

*Candle Light Snowshoe Hike is January 18, 2020

10. Adjournment

Member Torud moved to adjourn at 6:50pm and Member Hoepner seconded. Motion carried.

Debra Goldbach
Recreation Manager
Altoona Parks & Recreation Department



LOCATION 1

LOCATION 2

SCALE: 1"=200'

RIVER

EAU
CLAIRE

CLAIRE

RIVER

RIVER

USH 53 BYPASS

USH 53 BYPASS

TAR BLVD.

RIVER PRAIRIE DRIVE

FRONT PORCH PLACE

MEADOWLARK LN

BLAZING STAR BLVD

MEADOWLARK LN

BLUESTEM BLVD

LOT 11
13,422 SF

LOT 12
10,722 SF

LOT 14
32,222 SF

LOT 9
5,575 SF

LOT 10
15,754 SF

LOT 18
6,617 SF

LOT 17
6,720 SF

LOT 16
7,528 SF

LOT 15
7,391 SF

LOT 20
14,020 SF

LOT 4
CSM 3047

LOT 20
9,328 SF

LOT 21
10,187 SF

LOT 22
30,013 SF

LOT 7
CSM 3047

LOT 3
CSM 3052

LOT 5
CSM 3047

LOT 2
CSM 3047

LOT 1
CSM 3035

LOT 1
CSM 3047



City of Altoona 10th Street Recreation Building Narrative

Project Description:

This is a 90' x 52' building with an 18'x 20' covered patio that is proposed to be located between 9th Street and 10th Street on the eastern side of 10th Street Park. The covered pavilion will be facing the northwest playground area. The existing toilet facility structure is to be demolished within the cost of this project. Portions of the proposed building will be accessible to the public during park hours for use of toilet rooms and drinking fountain with bottle filler.

The building will serve four main purposes, the first of which is community space to provide affordable rental space to the public. The second is a home base for the various recreation programs. Third, provide daily access to toilet rooms for the park visitors. Finally, provide an accessible public election site.

The layout provides two large, rentable hall spaces, each space allowing up to 80 occupants with table and chair arrangement. One Hall will have projection screen capabilities. Both rooms will have ample countertop and lockable storage below. The rooms will be divided by an acoustical accordion partition, allowing the space to be opened up for a larger group. The Halls can be used by the city recreation to host various activities like yoga and other classes. To the south of the hall space, there is a dedicated storage room for tables and chairs. Both Halls will have access directly to 9th Street making for easy entering and exiting for voting days. There will be a small Kitchenette to stage food arrival and facilitate cleanup. Cabinets will be designed to provide the option to add a stove in the future. There is a roll-up pass through window to the recreation classroom for snack distribution. The Classroom will provide quiet space for roughly 45 youth to come and read or enjoy games. Outdoor access is provided to the west and to the south directly from the Classroom. Just off the classroom there is an office for staff and dedicated storage room. Ample toilet facilities are planned for, including a single-user all-gender toilet room containing a diaper change station. Both of the gendered toilet rooms will have two fixtures each and will be finished in ceramic tile.

The exterior of the proposed building is to be clad in a durable, engineered wood lap siding. Windows will be vinyl, fixed windows with decorative muntins. The roof is an architectural asphalt shingle gable roof. On the west side of the building, anchoring points will be provided on the exterior to feature removable mural art panels with recessed lighting above. On the east side of the building facing 9th Street, building signage will be displayed with lighting for easy identification from public accessways. All exterior doors will be protected by overhangs and a link of sidewalks will provide accessibility to all doors.

The mechanical system will be a user-friendly, programmable forced air heating and cooling system with zoning desired. The mechanical room is centrally located within the building and will house the buildings required systems, as well as security panels and a mop sink. The occupant load of the building requires a sprinkler system to be installed throughout. The electrical system will be designed to provide ample circuits in the Halls for crockpots and other equipment. Security cameras, exterior motion-sensor lighting, and programmable locks will be utilized throughout. Each rentable hall will have an AV cabinet for controls. Recessed can lighting will be provided in the east and west overhangs as well as under the covered patio space.

10TH STREET RECREATION BUILDING

400 10TH STREET
ALTOONA, WI 54720

**PRELIMINARY
NOT FOR CONSTRUCTION**

GENERAL

T100 TITLE SHEET, SHEET INDEX, PROJECT LOCATION MAPS
T101 CODE PLAN

CIVIL

ARCHITECTURAL

- A300 PROPOSED FLOOR PLAN
- A301 ENLARGED FLOOR PLAN, WALL TYPES, DOOR TYPES, FRAME TYPES, WINDOW TYPES, SCHEDULES
- A302 PROPOSED ROOF PLAN

- A400 EXTERIOR BUILDING ELEVATIONS
- A401 EXTERIOR BUILDING ELEVATIONS

- A500 BUILDING SECTIONS
- A501 DETAILS
- A502 DOOR AND WINDOW DETAILS

- A600 STANDARD MOUNTING HEIGHTS, INTERIOR ELEVATIONS
- A700 FIRST FLOOR REFLECTED CEILING PLAN

STRUCTURAL

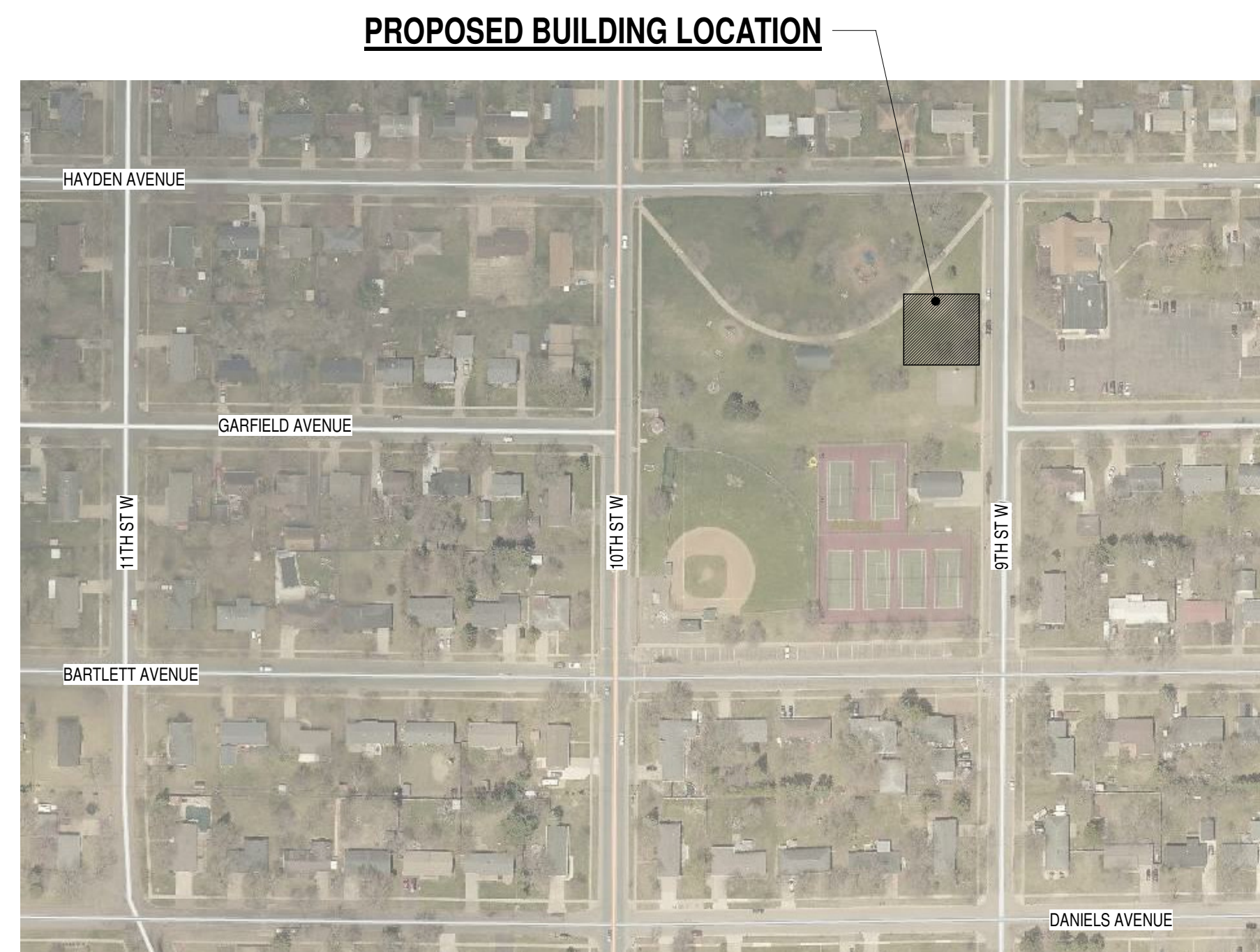
- S100 STRUCTURAL COVER SHEET
- S300 FOUNDATION PLAN
- S301 ROOF FRAMING PLAN



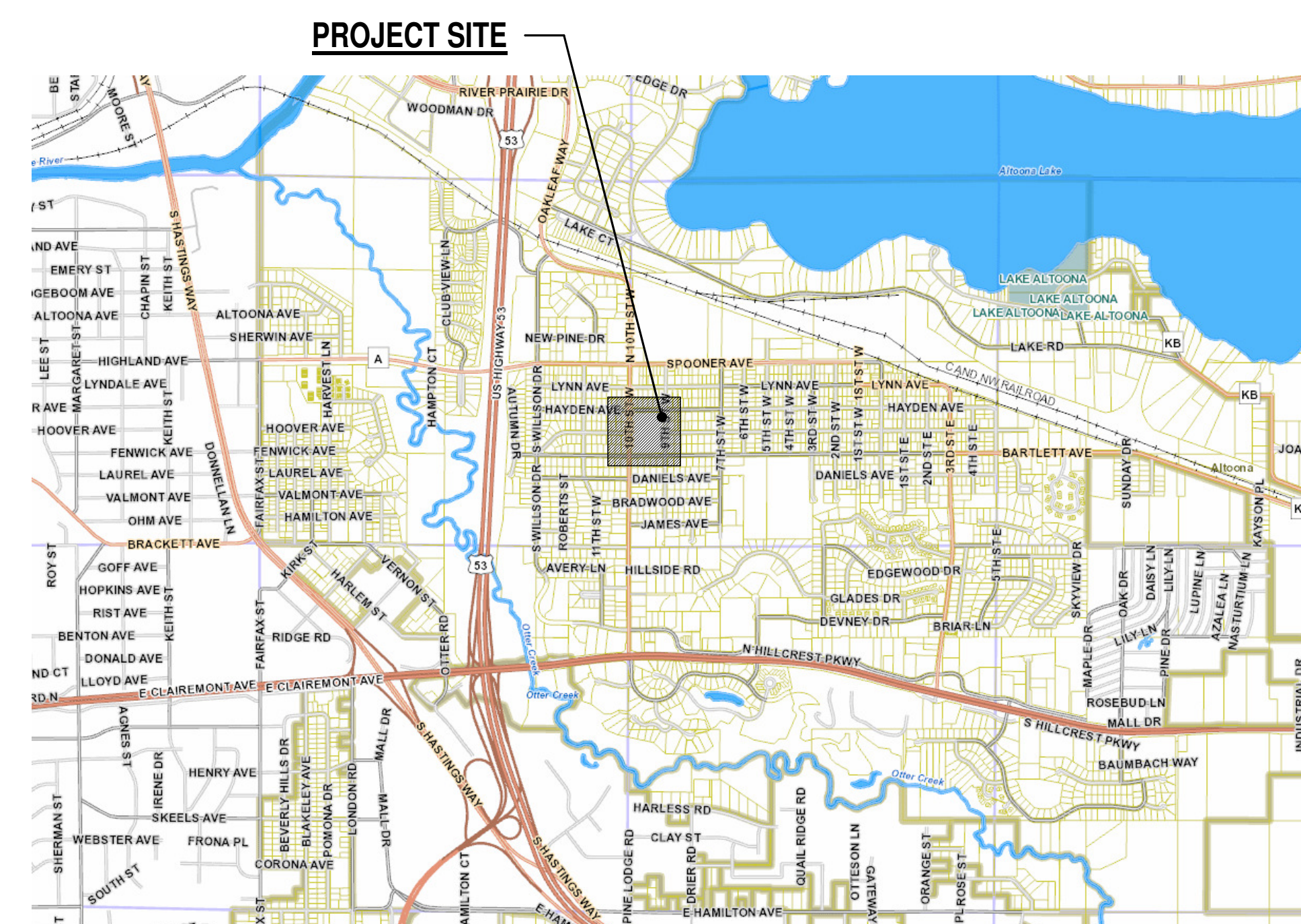
5 MASSING VIEW



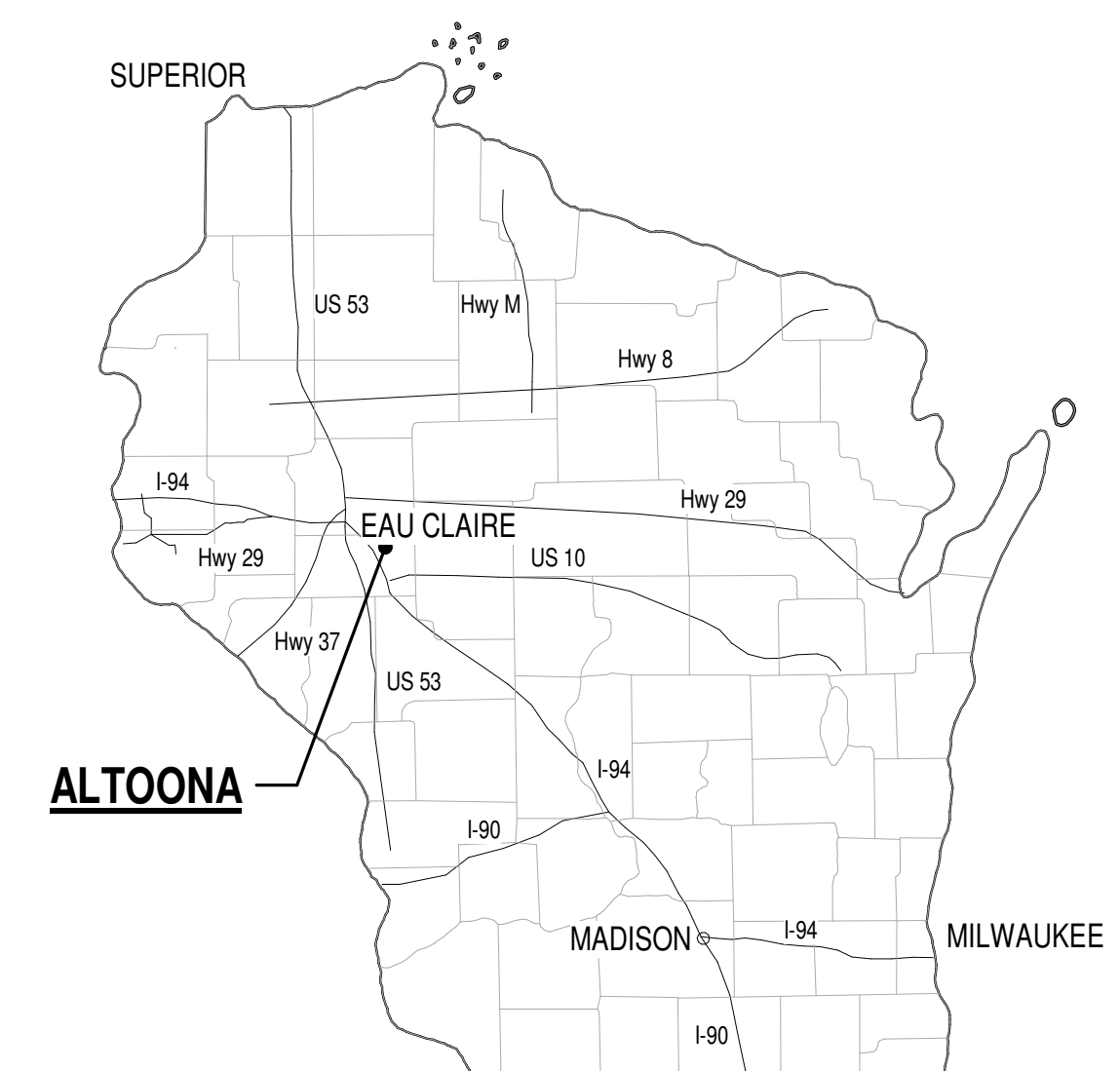
4 BUILDING LOCATION MAP
1" = 100'-0"



3 VICINITY MAP
1/16" = 1'-0"



2 AREA MAP
N.T.S.



1 STATE MAP
N.T.S.

L&P
ARCHITECTS
ENGINEERS

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EAU CLAIRE, WI 54701
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4675 ROYAL DRIVE
EAU CLAIRE, WI
TELEPHONE
EMAIL

10TH STREET RECREATION BUILDING

400 10TH STREET
ALTOONA, WI 54720

TITLE SHEET, SHEET
INDEX, PROJECT
LOCATION MAPS

REVISIONS:	NO.	DATE

ISSUE DATE:
JANUARY 24, 2020

T100




L&P PROJECT # 1994

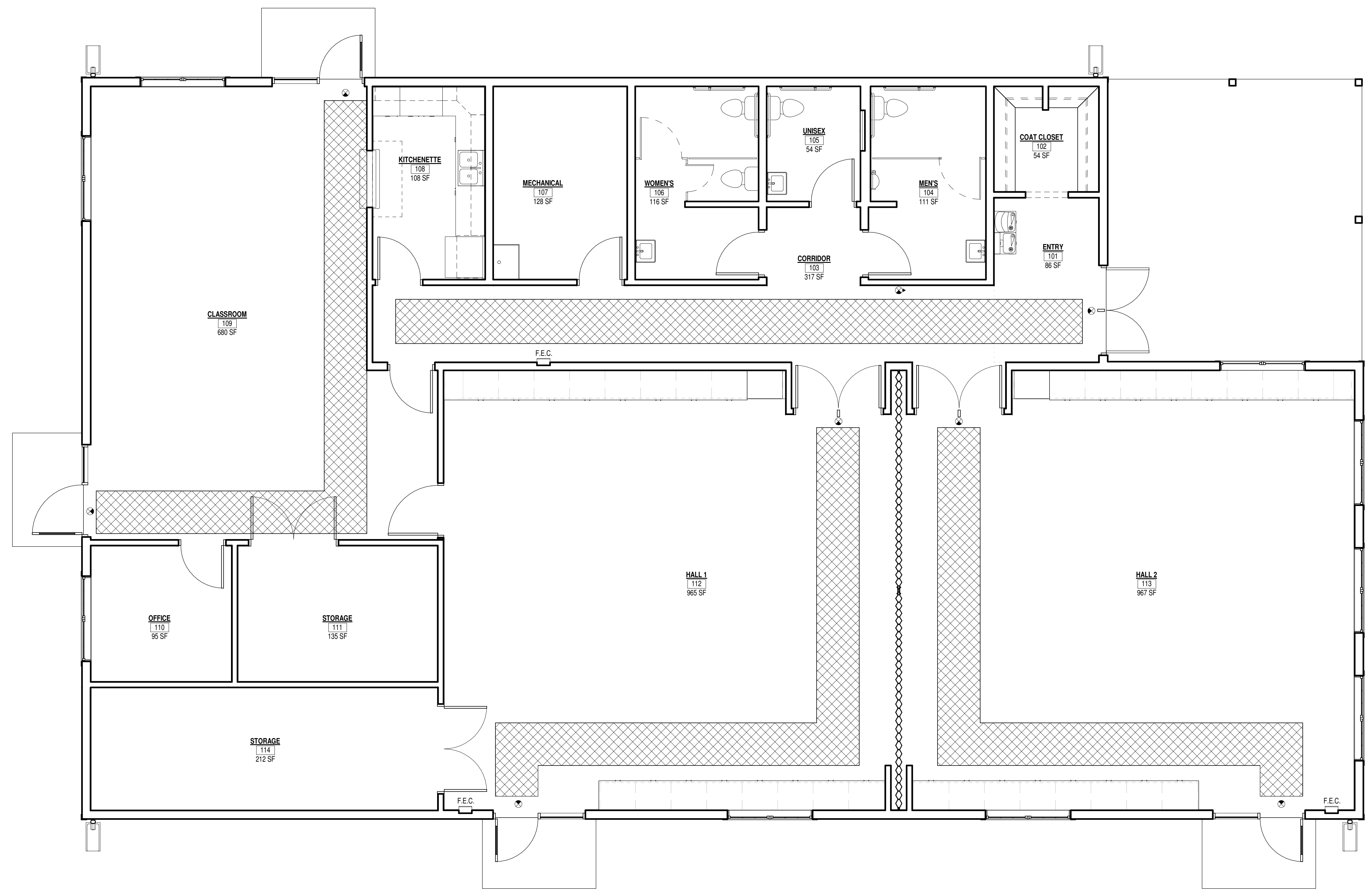
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**PRELIMINARY
NOT FOR CONSTRUCTION**

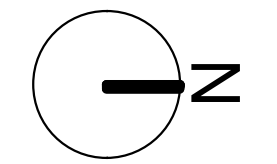
CODE ANALYSIS		
BUILDING CODE	IBC 2015	
ACCESSIBILITY CODE	ICC/ANSI A117.1-2009	
CONSTRUCTION TYPE	VB	
OCCUPANCY GROUP	A-2	
OCCUPANT LOAD	175	
ALLOWABLE BLDG HT & SF	2	24,000
AREA INCREASE	NA	
PROPOSED BLDG HT & SF	1 STORY	4,320 SF
FIRE SUPPRESSION	FULLY SPRINKLERED	NFPA-13
MAX. TRAVEL DISTANCE	250'	
EXITS (REQ'D/PROVIDED)	2 EA.	5 EA.
WORK AREA	4,320 S.F.	
PARKING (REQ'D/PROVIDED)	NA	NA
TOILET ROOM (REQ'D/PROVIDED)	1 EA.	1 EA.

CODE LEGEND

-  EXIT LIGHT
-  PATH OF EGRESS
-  F.E.C. FIRE EXTINGUISHER CABINET & FIRE EXTINGUISHER



1 FIRST FLOOR CODE PLAN
1/4" = 1'-0"



LIEN & PETERSON ARCHITECTS, INC
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10TH STREET RECREATION BUILDING

4675 ROYAL DRIVE
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400 10TH STREET
ALTOONA, WI 54720

CODE PLAN

REVISIONS:
NO. DATE

ISSUE DATE:
JANUARY 24, 2020

T101

2dip PROJECT # 1994

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PRELIMINARY NOT FOR CONSTRUCTION

FLOOR PLAN LEGEND:

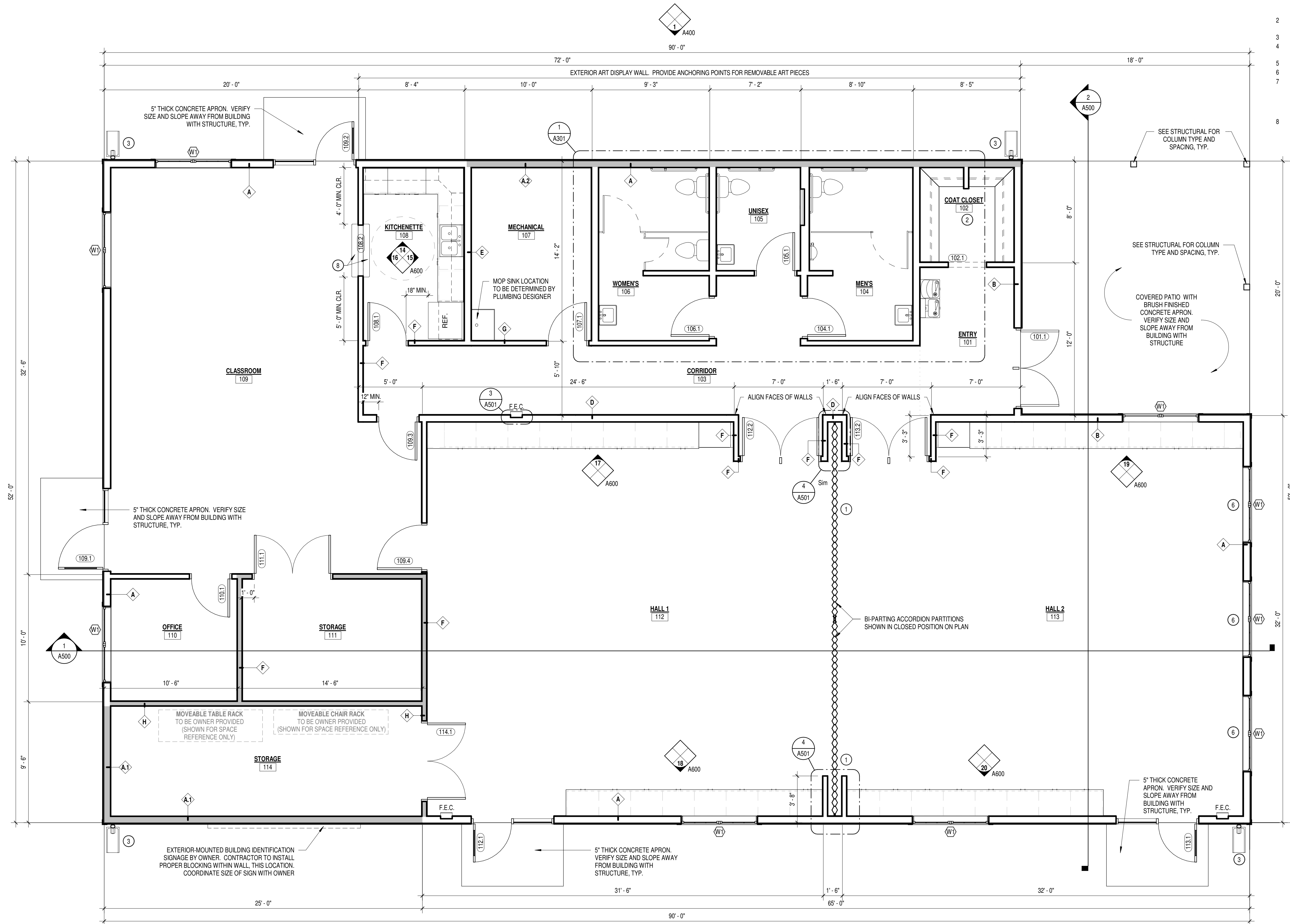
	ROOM TAG		WINDOW TAG
	DOOR TAG		WALL TAG
	ELEVATION TAG		ELEVATION DATUM
	SECTION TAG		FIRE EXTINGUISHER CABINET & FIRE EXTINGUISHER
			WALLS TO HAVE BLOCKING FOR OWNER PROVIDED FIXTURES (I.E. SIGNAGE, ARTWORK DISPLAY, AND RACKING). PROVIDE BLOCKING IN ALL WALLS THROUGHOUT AS REQUIRED.

GENERAL FLOOR PLAN NOTES:

- A. INTERIOR AND EXTERIOR DIMENSIONS:
- EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD
- OPENINGS: CENTER OF OPENING
- INTERIOR STUD WALLS: FACE OF STUD, NOMINAL
- B. WOOD BLOCKING:
- PROVIDE SOLID WOOD BLOCKING FOR ALL WALL AND SOFFIT MOUNTED PRODUCTS AND EQUIPMENT INDICATED ON DRAWINGS
- C. PROVIDE CORNER GUARD PROTECTION AT ALL OUTSIDE CORNERS
- D. FURNITURE BY OWNER
- E. GPDW AT WALLS TO HAVE CONTROL JOINTS @ 20' - 0" O.C. MAX., TYP.

KEYED FLOOR PLAN NOTES (#):

- (NOTE: NOT ALL NOTES MAY BE USED ON THIS PAGE)
- 1 CEILING MOUNTED BI-PARTING ACCORDION WALL PARTITION. MODERNFOLD SOUNDMASTER 8 MODEL OR APPROVED EQUAL. PROVIDE BLOCKING IN WALL, EACH END OF PARTITION FOR PROPER JAMB ATTACHMENT
 - 2 INSTALL COAT RACK ROD AND SHELVES ACCORDING TO STANDARD MOUNTING HEIGHTS (1/A600)
 - 3 CONCRETE SPLASH BLOCK AT ALL DOWNSPOUTS, TYP.
 - 4 ADA COMPLIANT, STAINLESS STEEL RECESSED DIAPER CHANGING STATION. INSTALL PROPER BLOCKING IN WALL.
 - 5 DRINKING FOUNTAIN AND BOTTLE FILLER.
 - 6 BLACK OUT BLINDS AT THESE LOCATIONS.
 - 7 TOILET ACCESSORIES TO BE OWNER SUPPLIED, CONTRACTOR INSTALLED. INCLUDING TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, HAND DRYERS, SHARPS CONTAINERS, FEMINE PRODUCT DISPENSER, AND SOAP DISPENSERS
 - 8 PLUM COUNTERTOP AT COILING COUNTER DOOR. T.O. COUNTERTOP AT 2' - 10" A.F.F. COUNTERTOP TO EXTEND 1" PAST EACH END OF OPENING AND 6" FROM FINISHED WALL FACES, EACH WAY INTO ROOMS 108 AND 109.



1/16/2020 11:52:17 AM

1 PROPOSED FLOOR PLAN

1/4" = 1'-0"

ARCHITECTS
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ENGINEERS

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10TH STREET RECREATION BUILDING

PROPOSED FLOOR PLAN

REVISIONS:	NO.	DATE

ISSUE DATE:
JANUARY 24, 2020

A300

2dip PROJECT # 1994

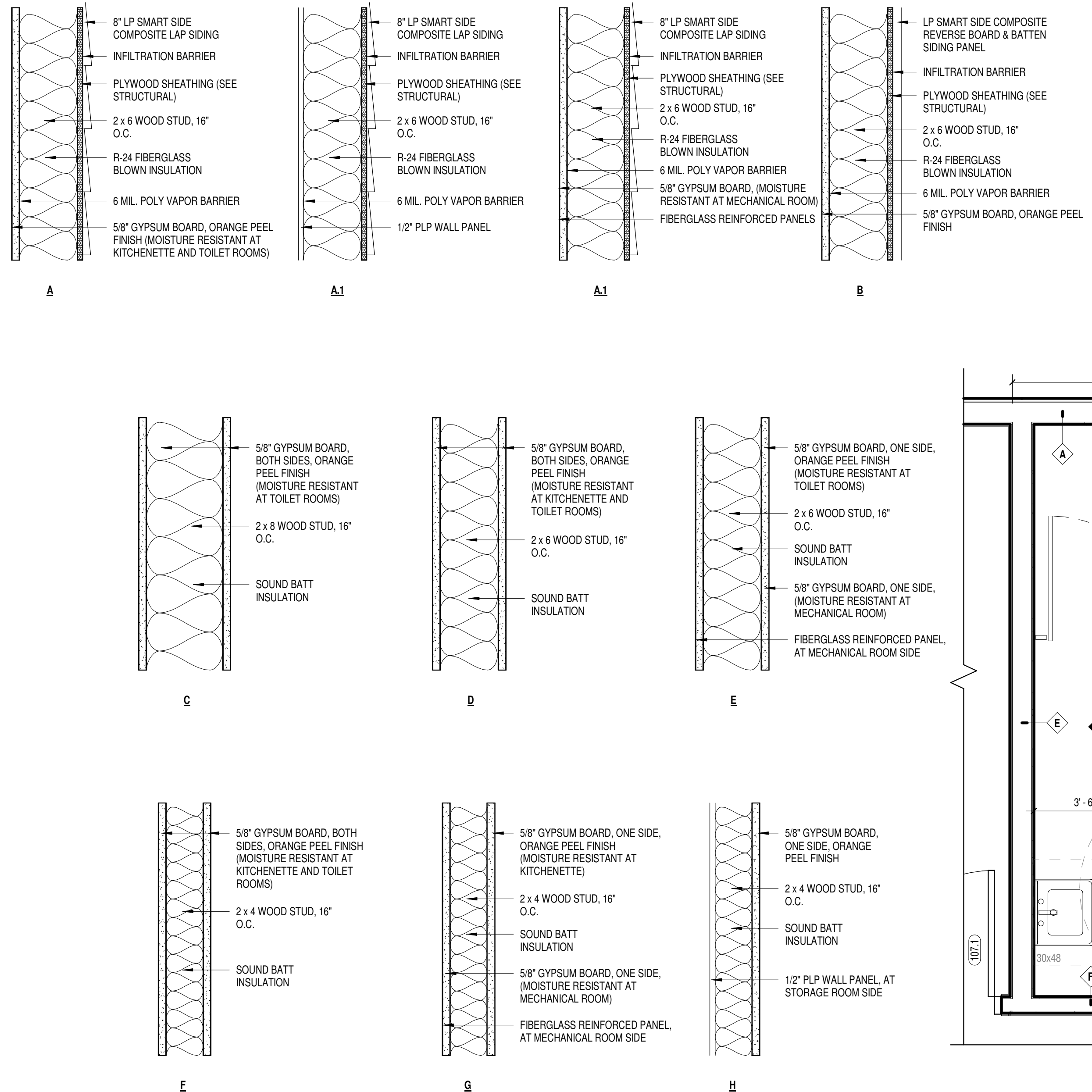
DOOR SCHEDULE										
NO.	DOOR				FRAME			HARDWARE	NOTES	
	TYPE	WIDTH	HEIGHT	THICKNESS	TYPE	SILL	JAMB			HEAD
101.1	A	3'-0"	7'-0"	0'-1 3/4"	1	1/A502	2/A502	3/A502	GROUP 1	REMOVABLE MULLION
102.1	-	3'-0"	7'-0"	0'-1 3/4"	-	-	-	-	-	GPDW FINISHED OPENING
104.1	D	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 6	
105.1	D	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 3	
106.1	D	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 6	
107.1	C	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	-	
108.1	D	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 4	
108.2	E	4'-0"	4'-0"	0'-2"	-	6/A502	7/A502	8/A502	-	SILL HEIGHT AT 2' - 10" A.F.F.
109.1	B	3'-6"	7'-0"	0'-1 3/4"	3	1/A502	2/A502	3/A502	GROUP 2	
109.2	B	3'-0"	7'-0"	0'-1 3/4"	2	1/A502	2/A502	3/A502	GROUP 2	
109.3	C	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 5	
109.4	C	3'-6"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	-	
110.1	C	3'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 7	
111.1	(2) D	6'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 9	
112.1	B	3'-0"	7'-0"	0'-1 3/4"	2	1/A502	2/A502	3/A502	GROUP 2	
112.2	(2) D	6'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 8	REMOVABLE MULLION, COVER PLATE
113.1	B	3'-0"	7'-0"	0'-1 3/4"	2	1/A502	2/A502	3/A502	GROUP 2	
113.2	(2) D	6'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 8	REMOVABLE MULLION, COVER PLATE
114.1	(2) D	6'-0"	7'-0"	0'-1 3/4"	4	-	4/A502	5/A502	GROUP 9	

NOTE: ANY REQUIRED DOOR GRILLES OR DOOR UNDERCUTS TO BE DETERMINED BY HVAC DESIGNER. INFORMATION TO BE READILY AVAILABLE PRIOR TO ORDERING OF ALL DOORS WITHIN PROJECT.

DOOR HARDWARE GROUPS:				
GROUP 1: EXTERIOR DBL. ENTRANCE (HOLLOW METAL)	GROUP 3: INTERIOR SGL. PRIVACY	GROUP 5: INTERIOR SGL. CLASSROOM	GROUP 7: INTERIOR SGL. OFFICE	GROUP 9: INTERIOR DBL.
1 PRIVACY LOCKSET 2 CONTINUOUS HINGES	1 PRIVACY LOCKSET 1 1/2 SET HINGES 1 DOOR CLOSER 1 WALL BUMPER	1 OFFICE LOCKSET 1 LEVER HANDLE CLASSROOM LOCKSET 1 WALL BUMPER	1 OFFICE LOCKSET 1 1/2 SET HINGES 1 DOOR CLOSER 1 WALL BUMPER	3 SETS HINGES
GROUP 2: EXTERIOR SGL. ENTRANCE (HOLLOW METAL)	GROUP 4: INTERIOR SGL. STOREROOM	GROUP 6: INTERIOR SGL. PUSH-PULL	GROUP 8: INTERIOR DBL.	
1 CONTINUOUS HINGE	1 LEVER HANDLE STOREROOM LOCKSET 1 WALL BUMPER	1 1/2 SET HINGES DOUBLE CYLINDER DEADBOLT 1 PULL HANDLE 1 PUSH PLATE 1 DOOR CLOSER 1 KICKPLATE 1 WALL BUMPER	3 SETS HINGES 2 WALL BUMPER	

WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	SILL HEIGHT	DETAIL			NOTES
				SILL	JAMB	HEAD	
W1	6'-0"	5'-0"	3'-0"	9/A502	10/A502	11/A502	

NOTE: PROVIDE WINDOW BLINDS AT ALL WINDOW LOCATIONS. SEE FLOOR PLAN FOR BLACK-OUT BLIND LOCATIONS.



**PRELIMINARY
NOT FOR CONSTRUCTION**

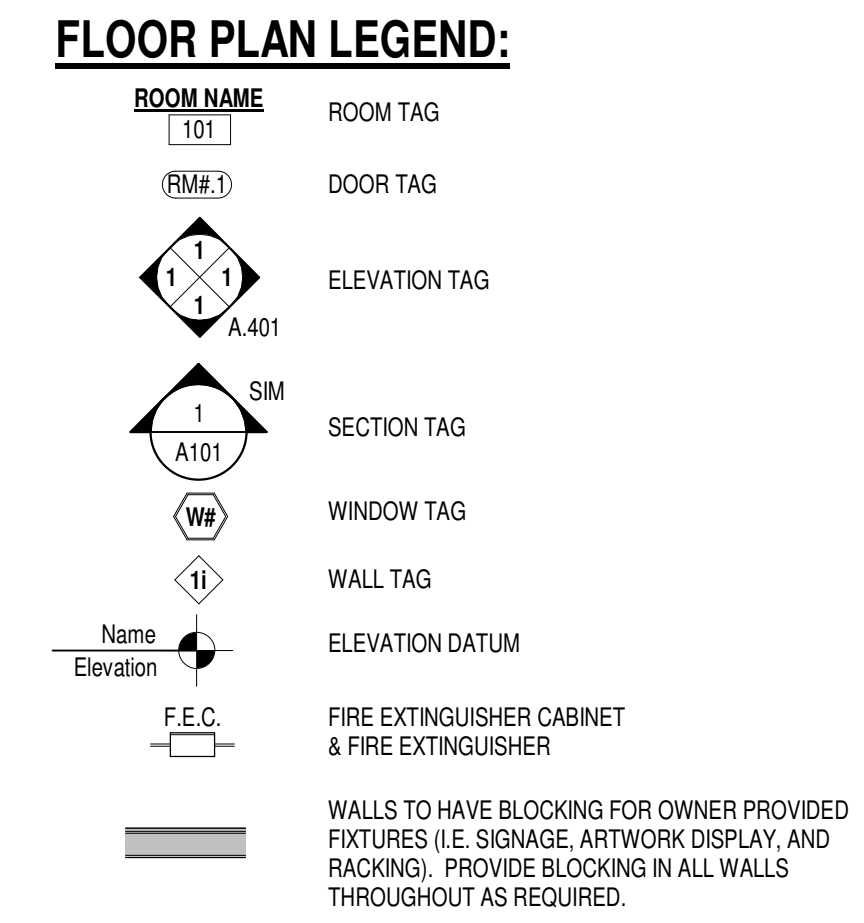
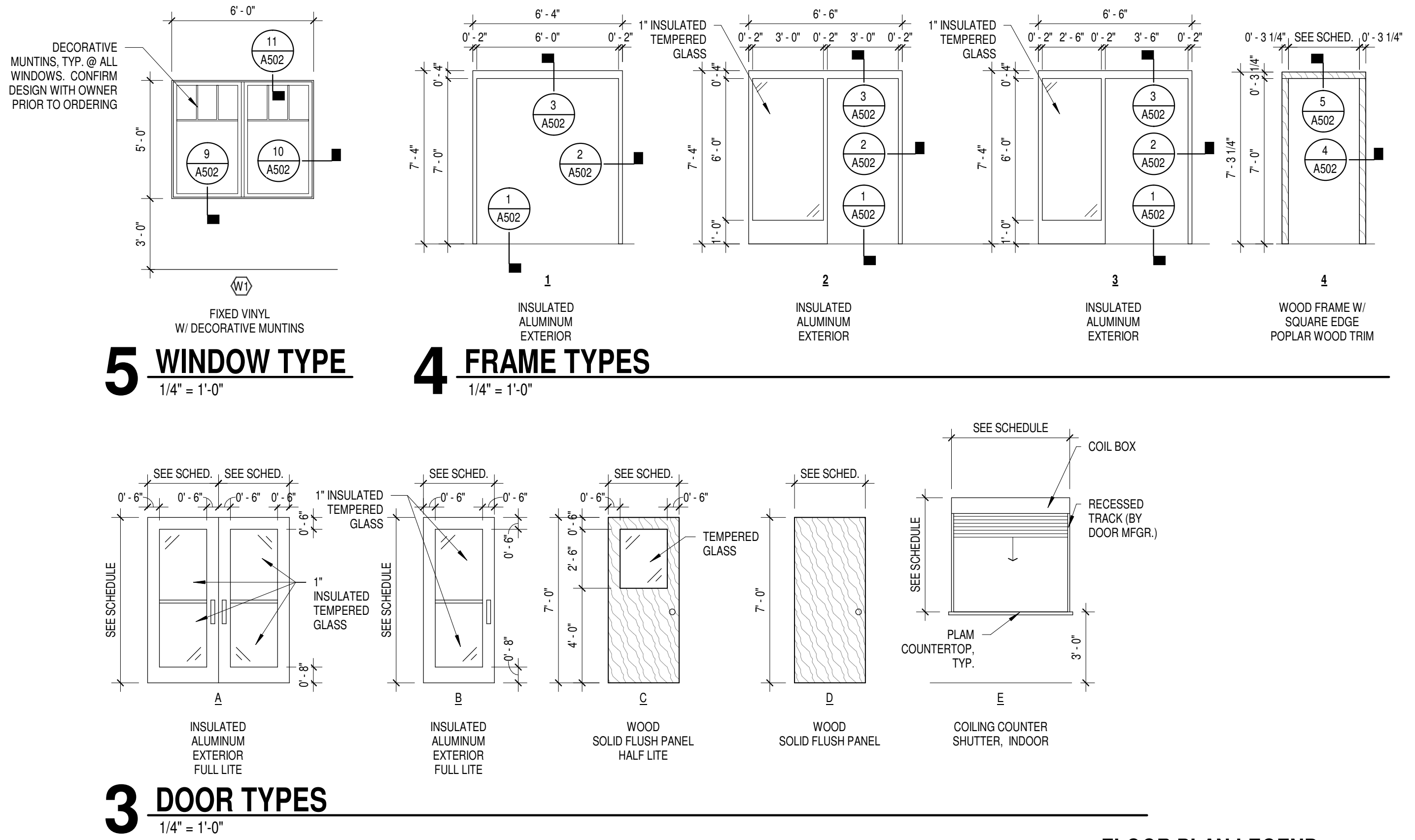
ROOM FINISH SCHEDULE										
NO.	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH				CEILING FINISH	KEYED NOTES	
				NORTH	EAST	SOUTH	WEST			
101	ENTRY	CONC. 1	VINYL	GPDW	GPDW	GPDW	GPDW	S.R. GPDW & ACT-1		
102	COAT CLOSET	CONC. 1	VINYL	GPDW	GPDW	GPDW	GPDW	S.R. GPDW & ACT-1		
103	CORRIDOR	CONC. 1	VINYL	GPDW	GPDW	GPDW	GPDW	S.R. GPDW & ACT-1		
104	MEN'S	CONC. 1	C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R./S.R. GPDW & ACT-2	1, 3	
105	UNISEX	CONC. 1	C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	C.T.	W.R./S.R. GPDW & ACT-2	1, 3	
106	WOMEN'S	CONC. 1	C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R. GPDW & C.T.	W.R./S.R. GPDW & ACT-2	1, 3	
107	MECHANICAL	CONC. 2	VINYL	FRP	FRP	FRP	FRP	W.R./S.R. GPDW		
108	KITCHENETTE	CONC. 1	VINYL	W.R. GPDW	W.R. GPDW	W.R. GPDW	W.R. GPDW	W.R./S.R. GPDW & ACT-2		
109	CLASSROOM	CONC. 1	VINYL	GPDW	GPDW	GPDW	GPDW	S.R. GPDW & ACT-1		
110	OFFICE	CONC. 1	VINYL	GPDW	GPDW	GPDW	GPDW	S.R. GPDW & ACT-1		
111	STORAGE	CONC. 2	VINYL	I.R. GPDW	I.R. GPDW	I.R. GPDW	I.R. GPDW	S.R. GPDW		
112	HALL 1	CONC. 1	VINYL	N/A	GPDW	GPDW	GPDW	S.R. GPDW & ACT-1		
113	HALL 2	CONC. 1	VINYL	GPDW	GPDW	GPDW	N/A	S.R. GPDW & ACT-1	2	
114	STORAGE	CONC. 2	ENG. POLY.	PLP	PLP	PLP	PLP	S.R. GPDW		

ROOM FINISH SCHEDULE KEYED NOTES:

- INSTALL CERAMIC TILE WAINSCOT AT WET WALLS UP TO 4'-0" A.F.F. SEE INTERIOR ELEVATIONS ON SHEET A600.
- HALL 2 TO HAVE CEILING-MOUNTED PROJECTOR AND DROP DOWN PROJECTOR SCREEN. COORDINATE LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- SEE SHEET A600 FOR CERAMIC TILE HEIGHT AT WALLS.

ROOM FINISH SCHEDULE ABBREVIATIONS:

ACT-1 24"x24" ACOUSTIC CEILING TILE AND GRID
 ACT-2 24"x24" VINYL WRAPPED ACOUSTIC CEILING TILE AND GRID
 CONC. 1 CLASS A AGGREGATE EXPOSURE LEVEL, LEVEL 3 POLISH FINISH
 CONC. 2 CLASS D AGGREGATE EXPOSURE LEVEL, LEVEL 3 POLISH FINISH
 C.T. CERAMIC TILE
 ENG. POLY. ENGINEERED POLYMER BASE TRIM
 FRP FIBERGLASS REINFORCED PANEL
 GPDW 5/8" GYPSUM DRYWALL
 I.R. GPDW 5/8" IMPACT RESISTANT DRYWALL
 PLP 16" ENGINEERED POLYMER LINER PANEL
 W.R. GPDW 5/8" WATER RESISTANT GYPSUM DRYWALL
 W.R./S.R. GPDW 5/8" WATER RESISTANT, SAG RESISTANT GYPSUM DRYWALL
 VINYL 4" VINYL BASE

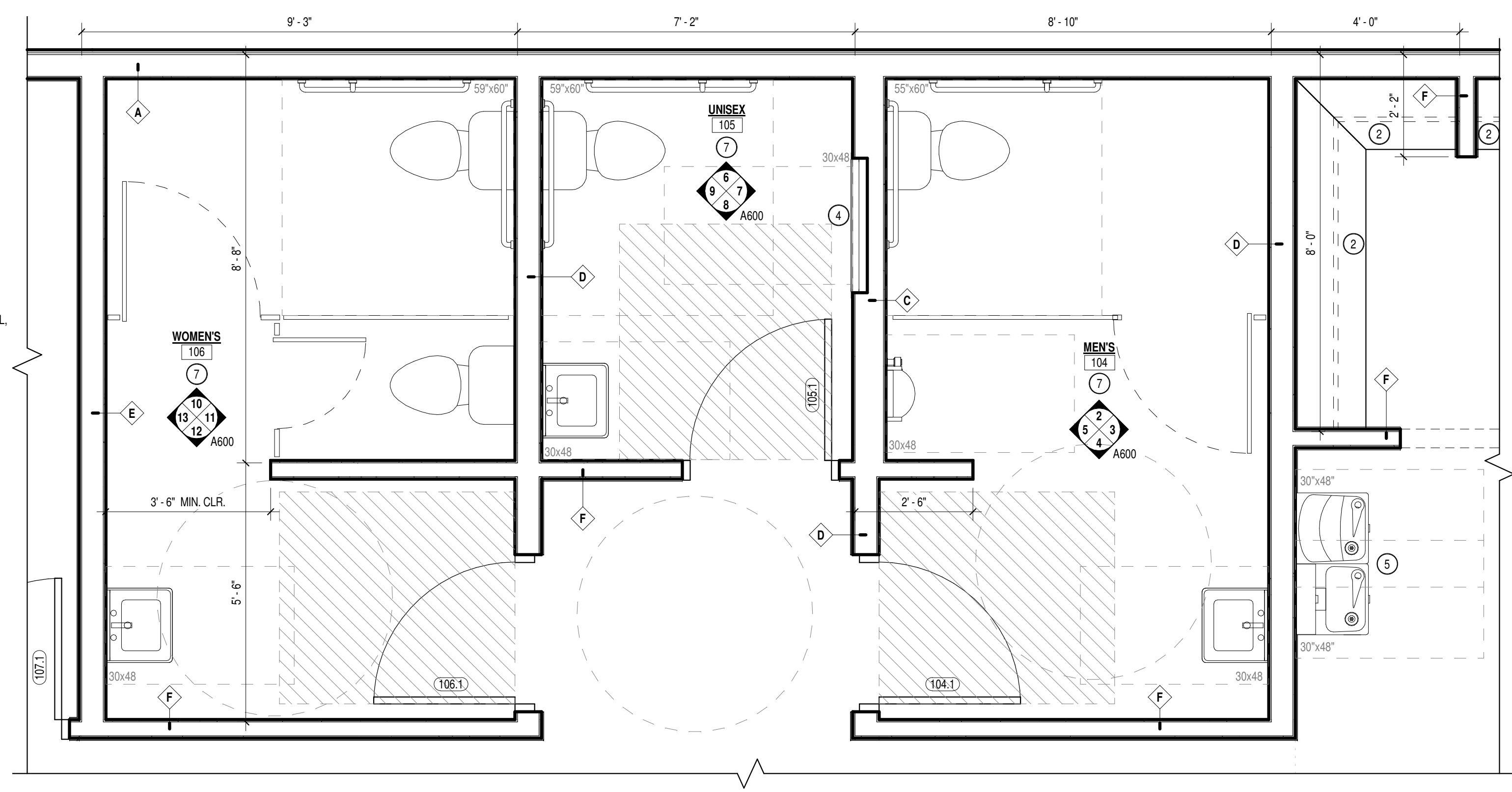


GENERAL FLOOR PLAN NOTES:

- INTERIOR AND EXTERIOR DIMENSIONS: -EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD -OPENINGS: CENTER OF OPENING -INTERIOR STUD WALLS: FACE OF STUD, NOMINAL
- WOOD BLOCKINGS: -PROVIDE SOLID WOOD BLOCKING FOR ALL WALL AND SOFFIT MOUNTED PRODUCTS AND EQUIPMENT INDICATED ON DRAWINGS
- PROVIDE CORNER GUARD PROTECTION AT ALL OUTSIDE CORNERS
- FURNITURE BY OWNER
- GPDW AT WALLS TO HAVE CONTROL JOINTS @ 20" O.C. MAX. TYP.

KEYED FLOOR PLAN NOTES (N):
(NOTE: NOT ALL NOTES MAY BE USED ON THIS PAGE)

- CEILING MOUNTED BI-PARTING ACCORDION WALL PARTITION. MODERN FOLD SOUNDMASTER 8 MODEL OR APPROVED EQUAL. PROVIDE BLOCKING IN WALL, EACH END OF PARTITION FOR PROPER JAMB ATTACHMENT.
- INSTALL COAT RACK ROD AND SHELVES ACCORDING TO STANDARD MOUNTING HEIGHTS (1/A600)
- CONCRETE SPLASH BLOCK AT ALL DOWNSPOUTS. TYP.
- ADA COMPLIANT, STAINLESS STEEL RECESSED DIAPER CHANGING STATION. INSTALL PROPER BLOCKING IN WALL. DRINKING FOUNTAIN AND BOTTLE FILLER.
- BLACK OUT BLINDS AT THESE LOCATIONS.
- TOILET ACCESSORIES TO BE OWNER SUPPLIED, CONTRACTOR INSTALLED. INCLUDING TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, HAND DRYERS, SHARPS CONTAINERS, FEMINE PRODUCT DISPENSER, AND SOAP DISPENSERS
- PLAM COUNTERTOP AT COLLING COUNTER DOOR. T.O. COUNTERTOP AT 2'-10" A.F.F. COUNTERTOP TO EXTEND 1" PAST EACH END OF OPENING AND 6" FROM FINISHED WALL FACES, EACH WAY INTO ROOMS 106 AND 109.



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LIEN & PETERSON ARCHITECTS, INC

ARCHITECTS
L&P
ENGINEERS

PO BOX 925
4675 ROYAL DRIVE
EAU CLAIRE, WI 54701
TELEPHONE 715-835-7500
EMAIL admin@2dip.com

10TH STREET RECREATION BUILDING

ENLARGED FLOOR PLAN,
WALL TYPES, DOOR
TYPES, FRAME TYPES,
WINDOW TYPES,
WINDOW TYPES,
SCHEDULES

REVISIONS:
NO. DATE

ISSUE DATE:
JANUARY 24, 2020

2dip PROJECT # 1994

**PRELIMINARY
NOT FOR CONSTRUCTION**

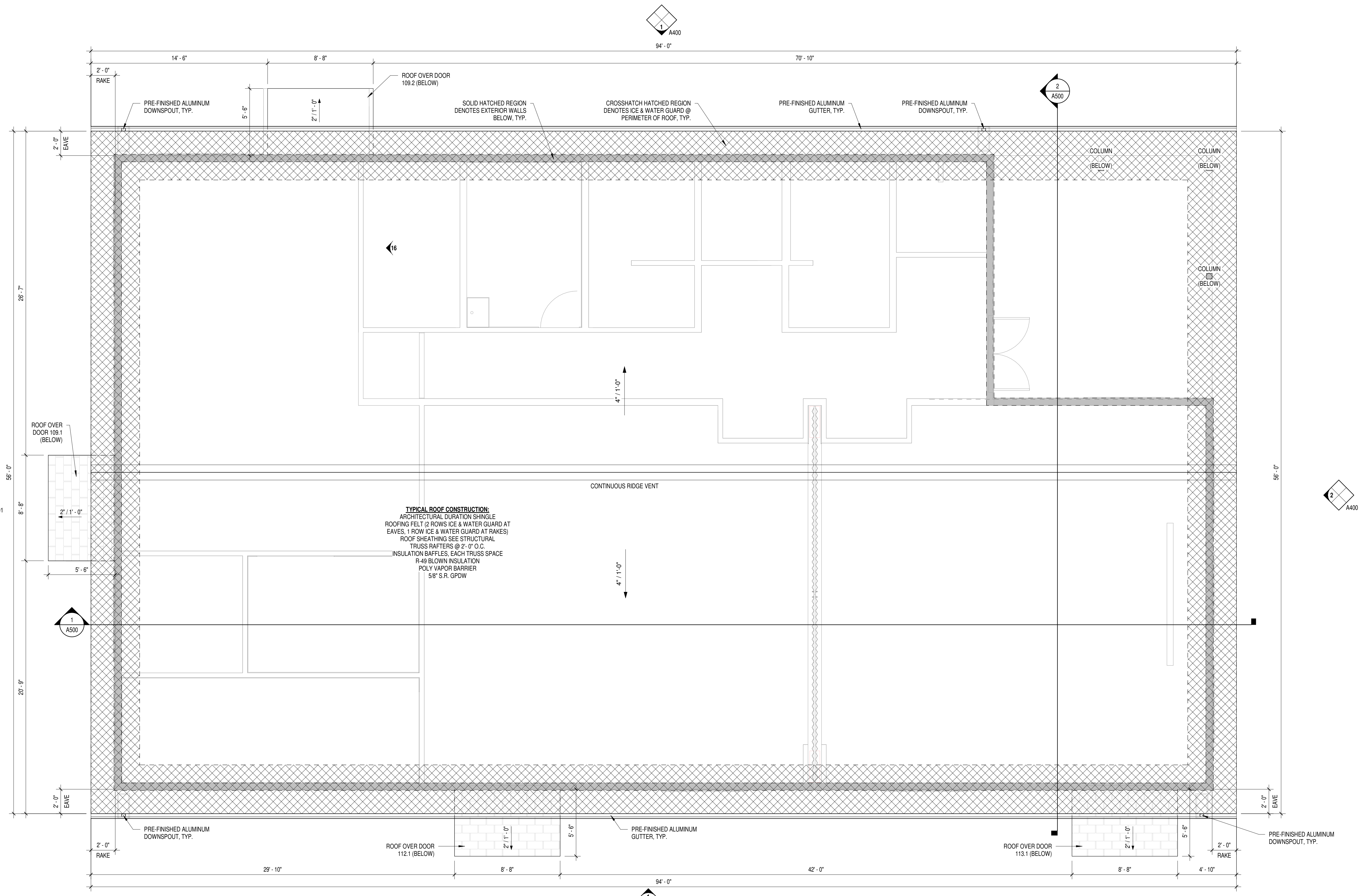
REVISIONS:

NO.	DATE

ISSUE DATE:
JANUARY 24, 2020

A302

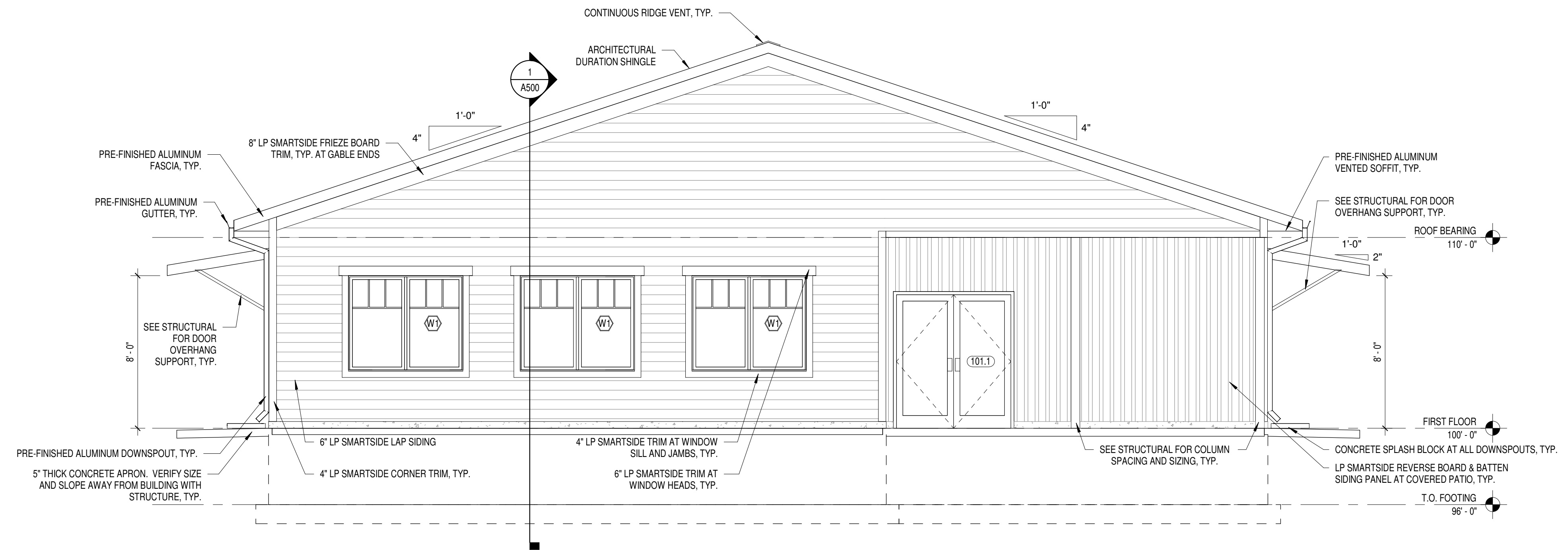
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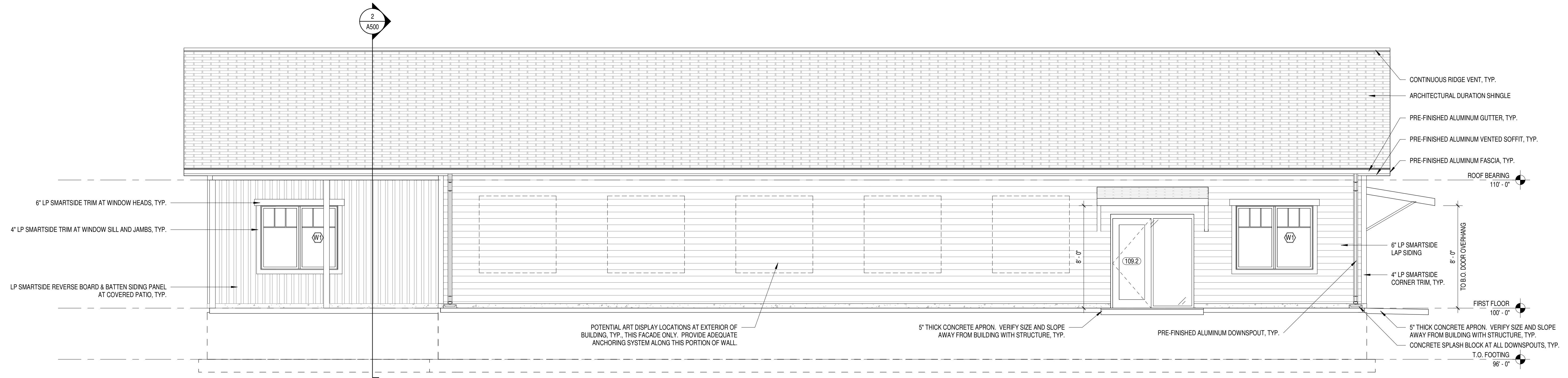
TYPICAL ROOF CONSTRUCTION:
ARCHITECTURAL DURATION SHINGLE
ROOFING FELT (2 ROWS ICE & WATER GUARD AT EAVES, 1 ROW ICE & WATER GUARD AT RAKES)
ROOF SHEATHING SEE STRUCTURAL
TRUSS RAFTERS @ 2'-0" O.C.
INSULATION BAFFLES, EACH TRUSS SPACE
R-49 BLOWN INSULATION
POLY VAPOR BARRIER
5/8" S.R. GPDW

1 PROPOSED ROOF PLAN
1/4" = 1'-0"

**PRELIMINARY
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2 NORTH ELEVATION
1/4" = 1'-0"

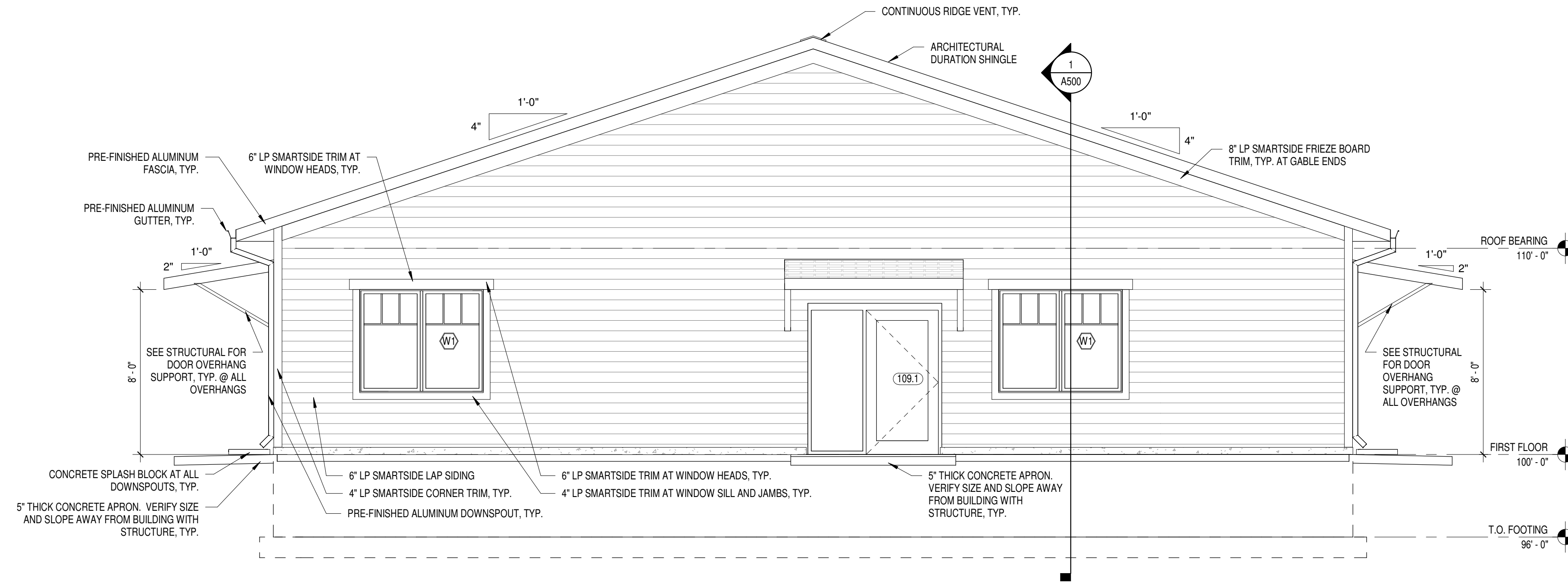


1 WEST ELEVATION
1/4" = 1'-0"

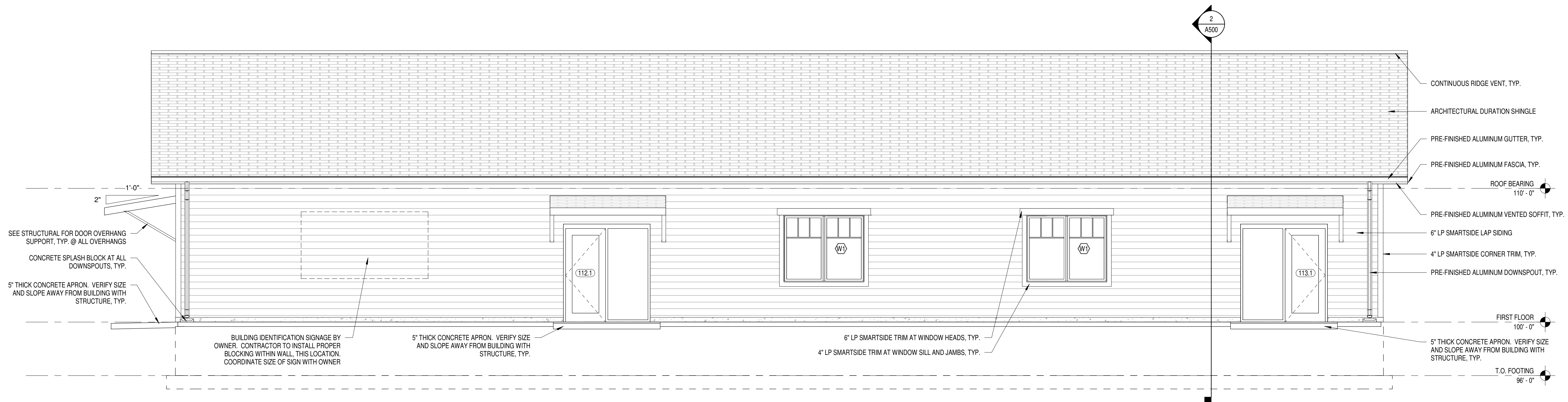
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NO. DATE

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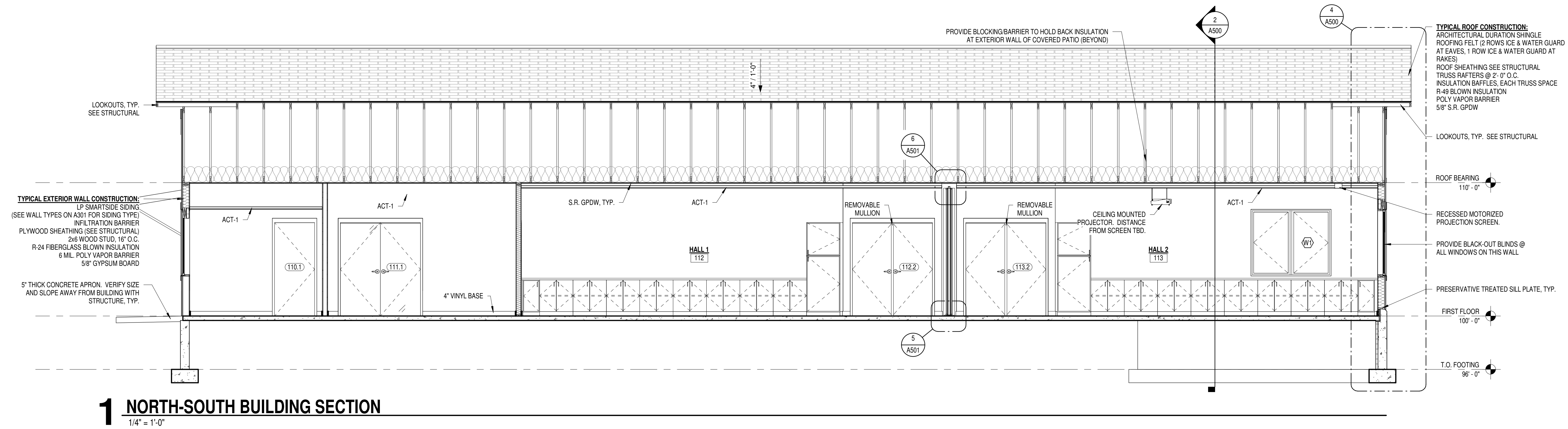
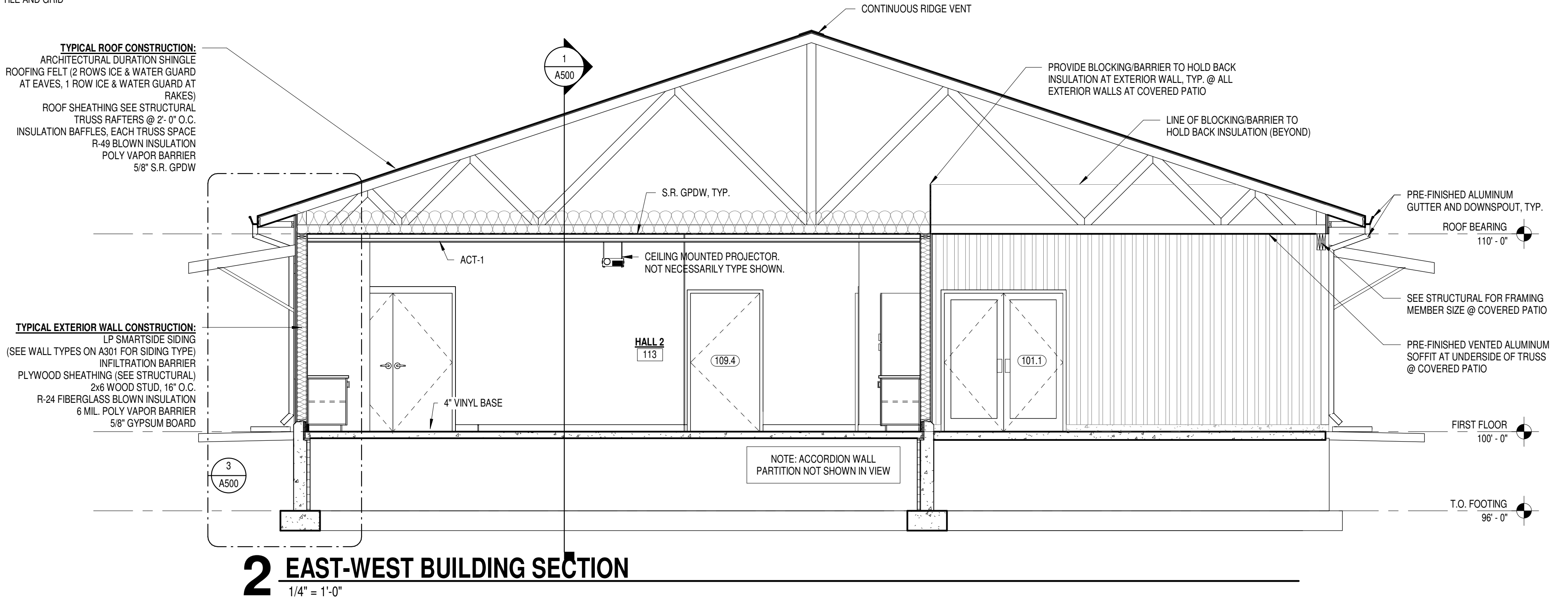
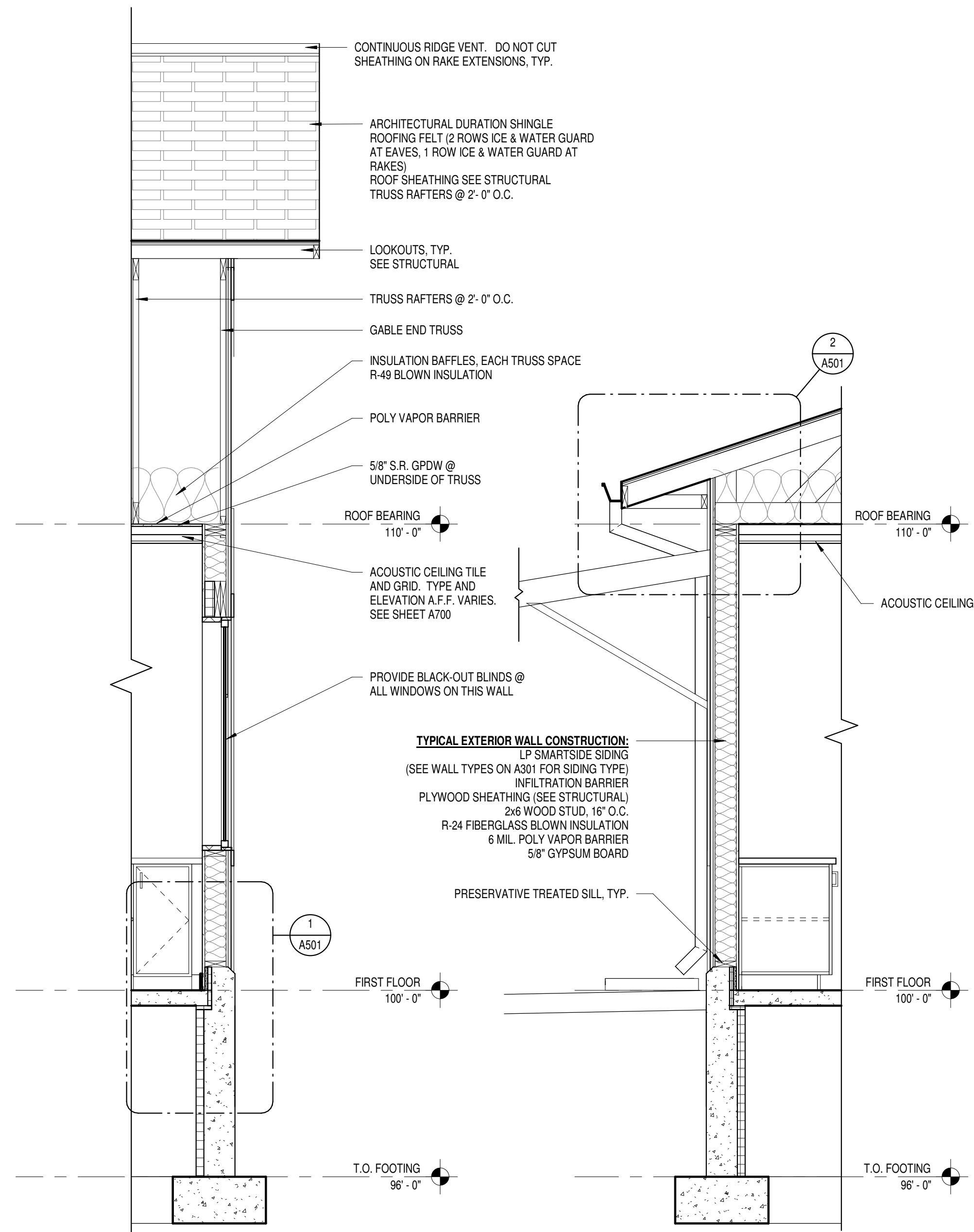


2 SOUTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

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LIEN & PETERSON ARCHITECTS, INC ARCHITECTS
L&P ENGINEERS
 PO BOX 925 54701
 4675 ROYAL DRIVE EAU CLAIRE, WI 715-835-7500
 TELEPHONE admin@2dip.com EMAIL

10TH STREET RECREATION BUILDING
 400 10TH STREET ALTOONA, WI 54720

BUILDING SECTIONS

REVISIONS:
NO. DATE

ISSUE DATE:
JANUARY 24, 2020

A500

2dip PROJECT # 1994

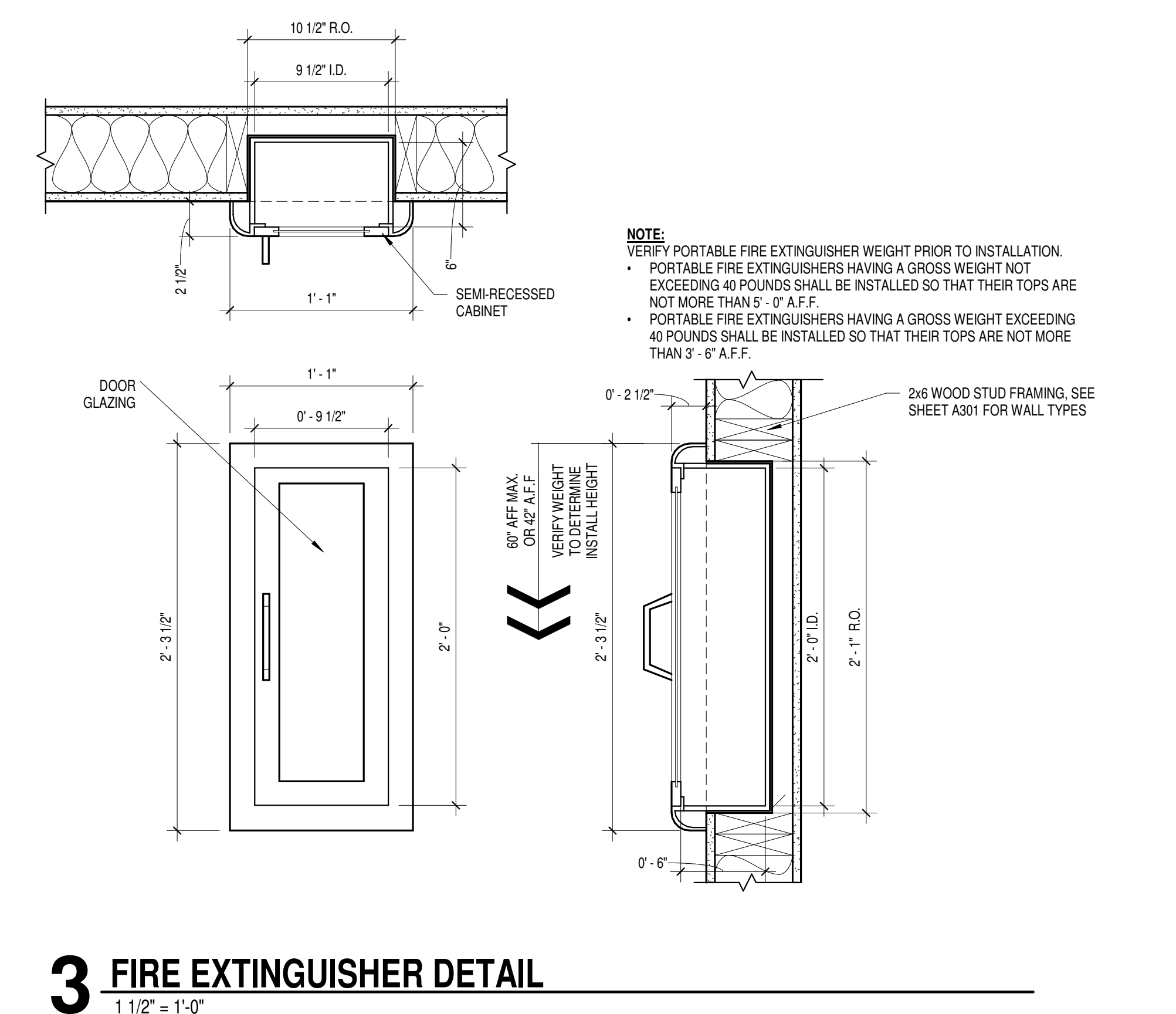
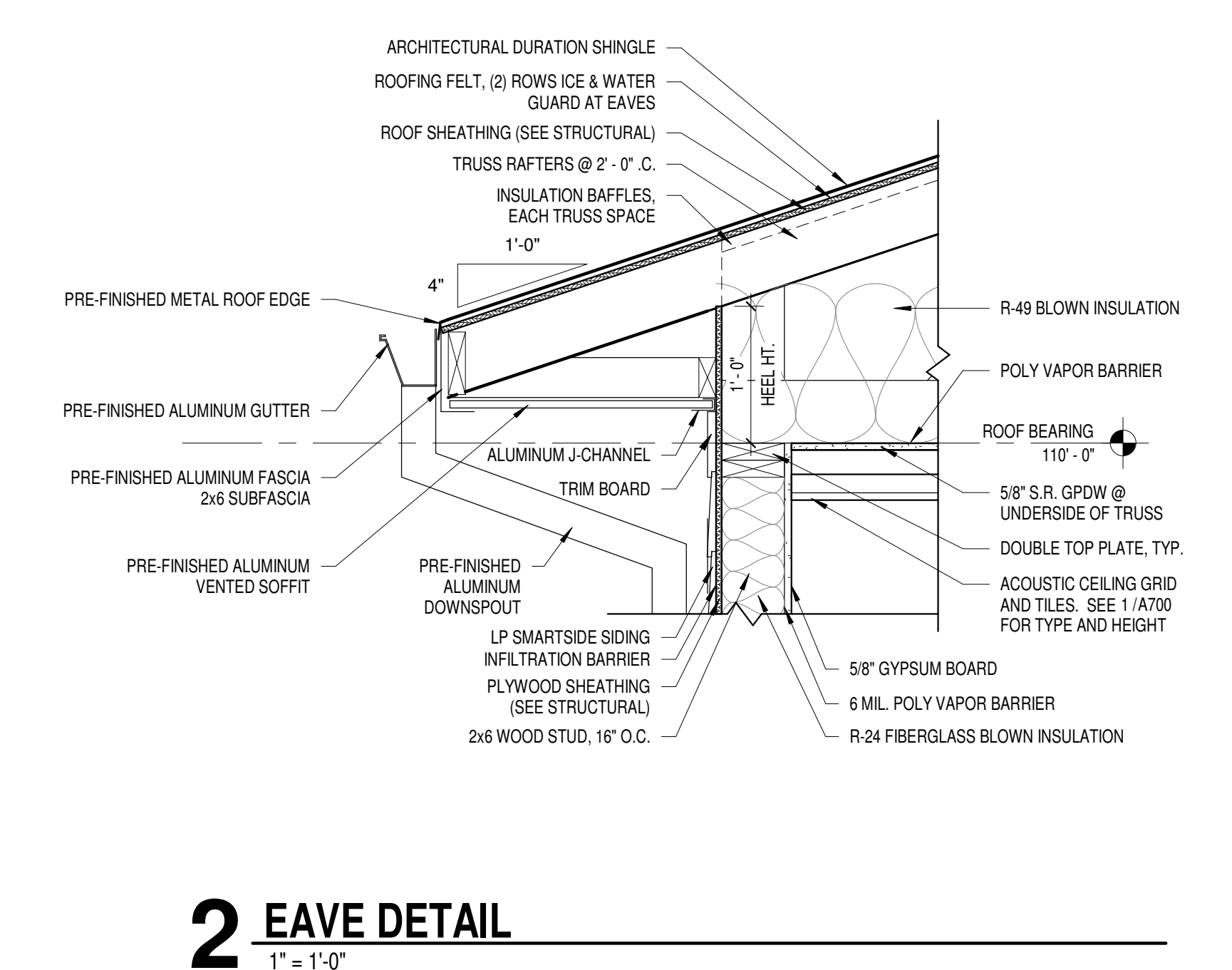
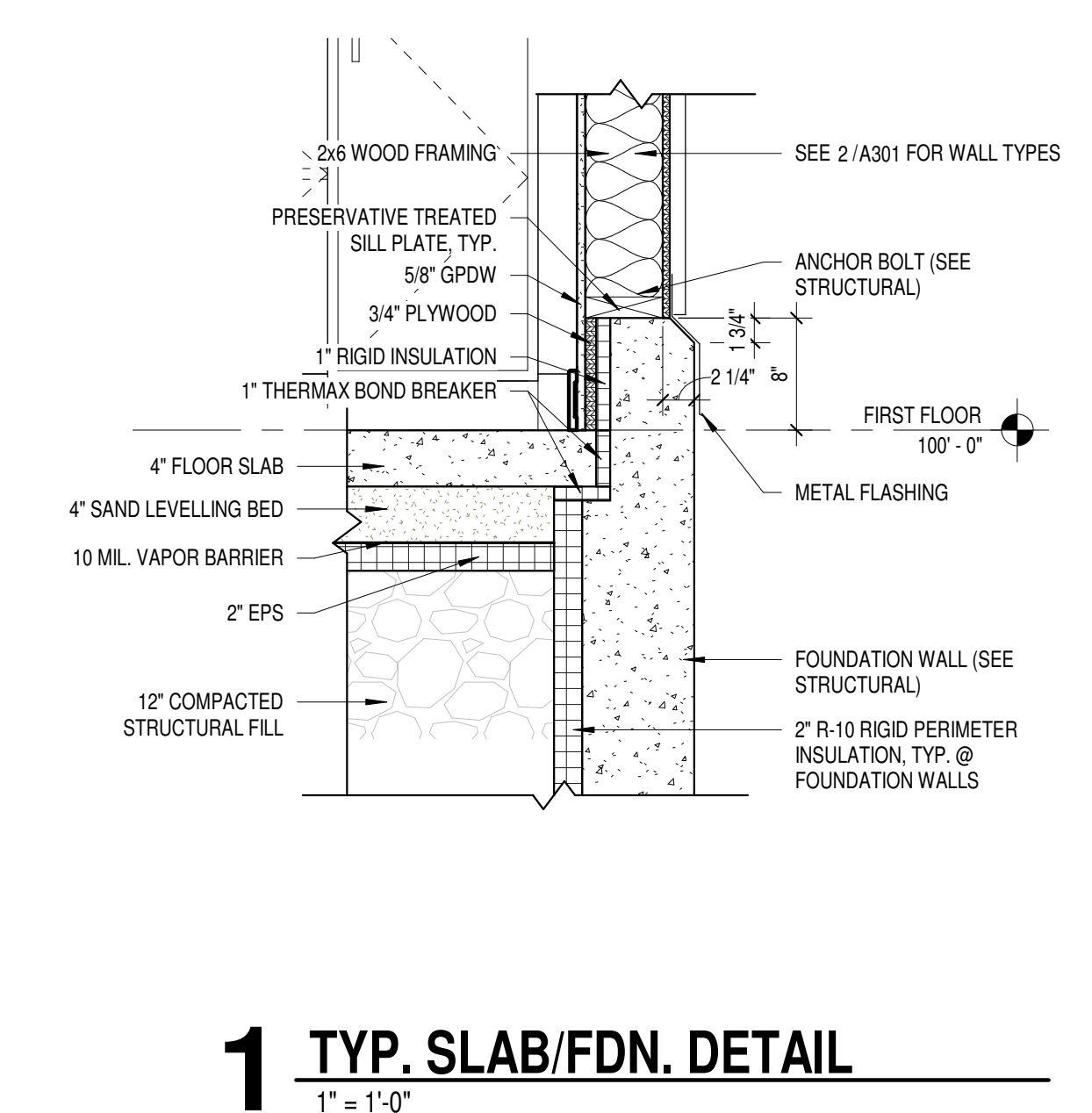
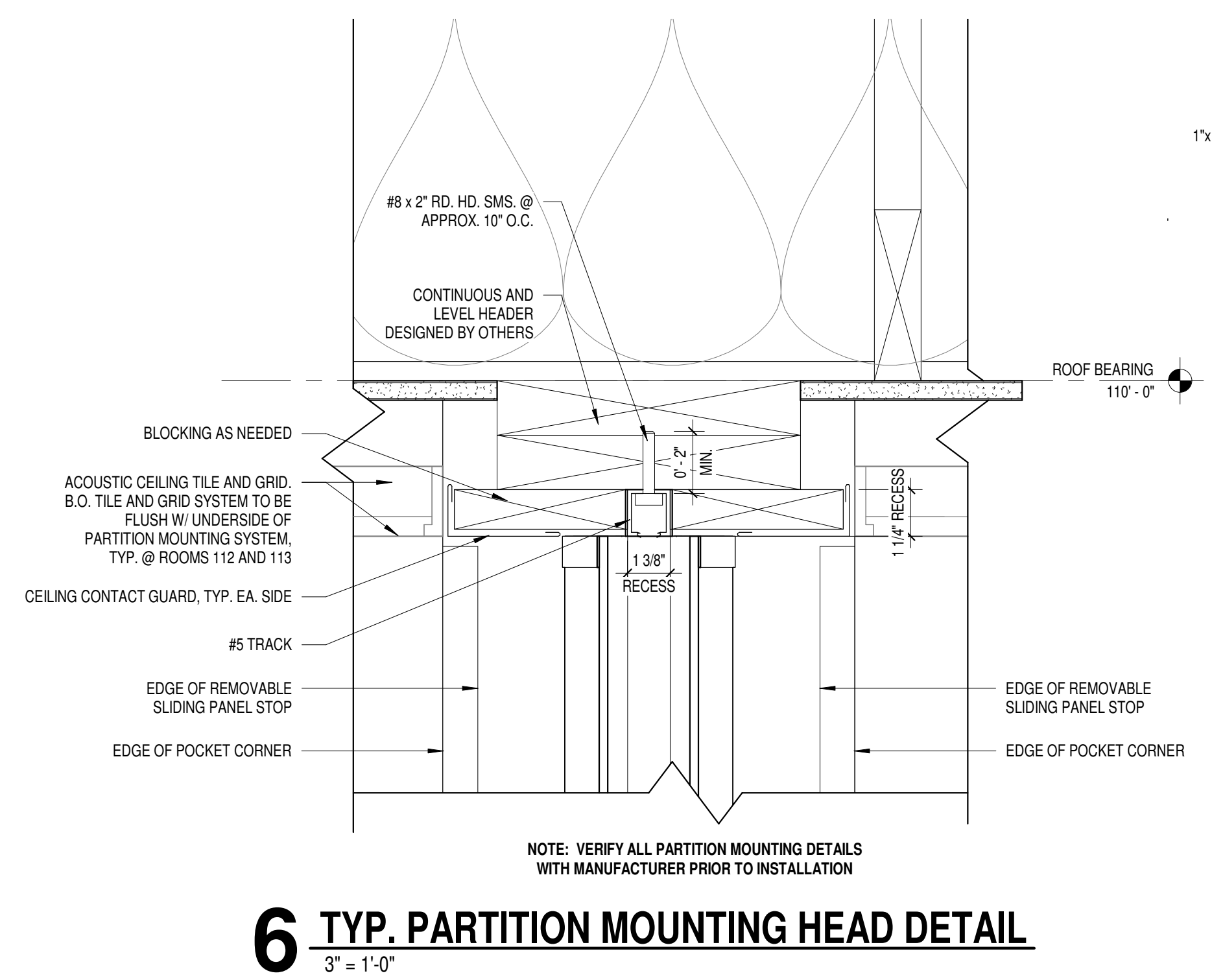
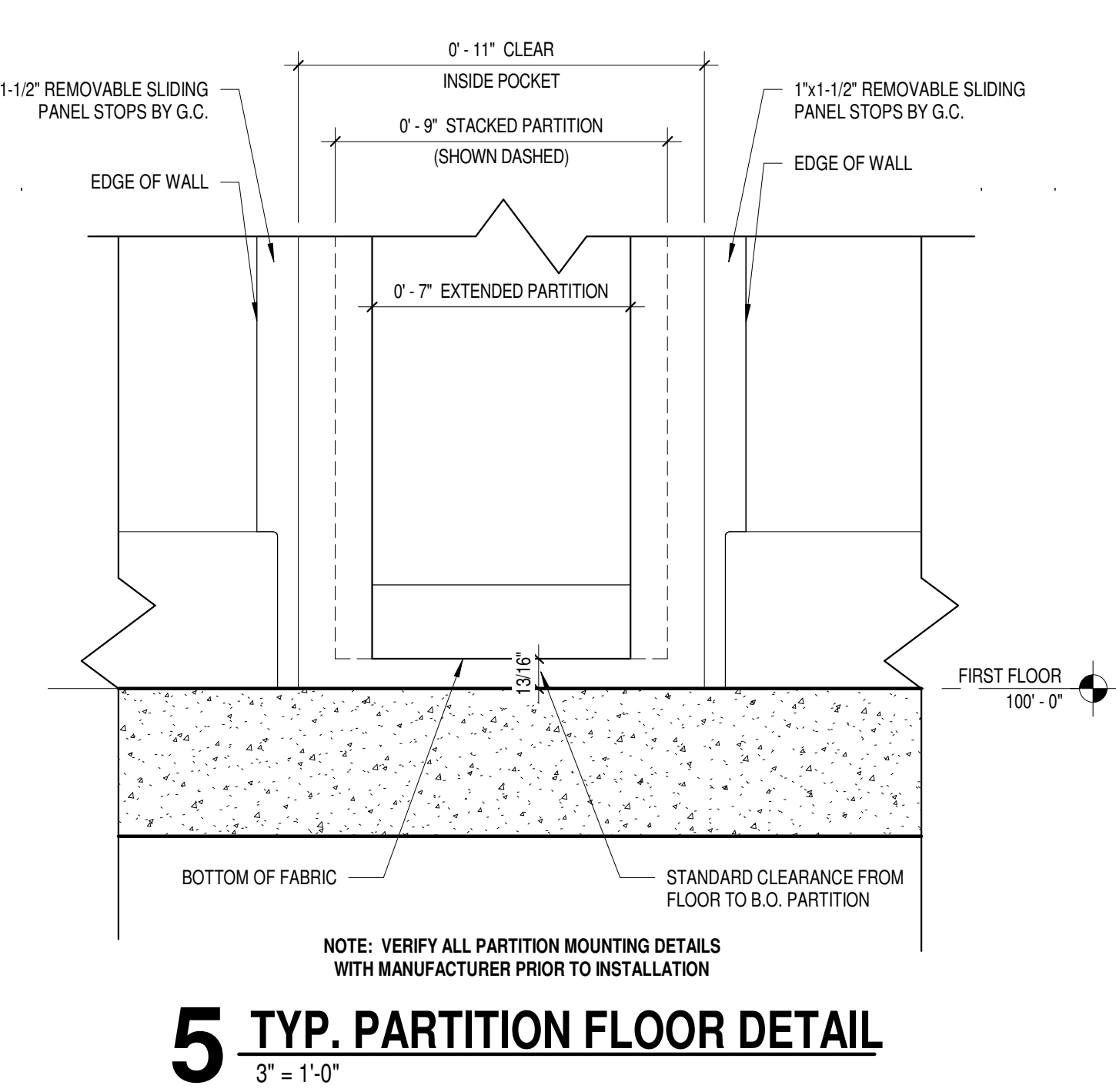
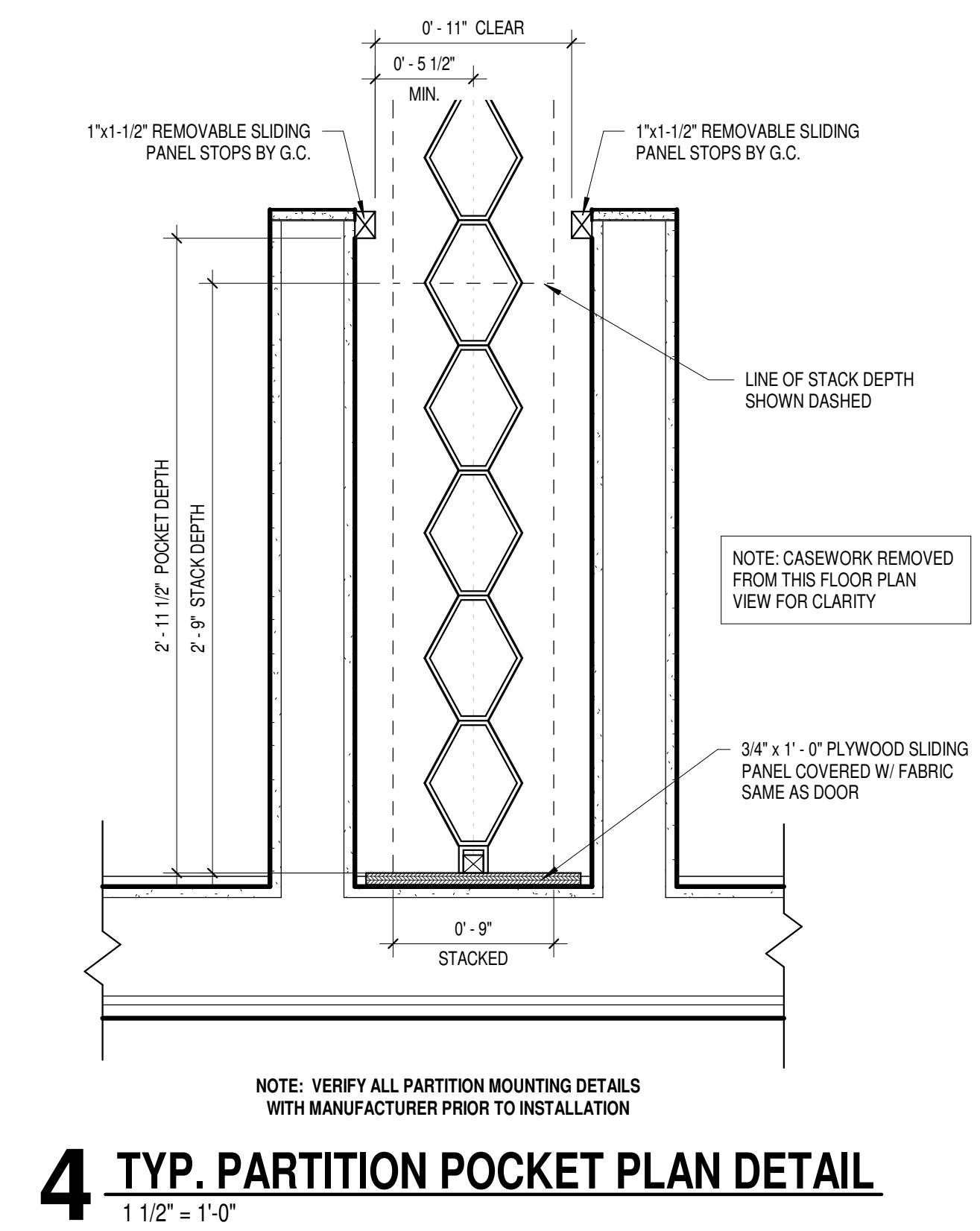
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NO.	DATE

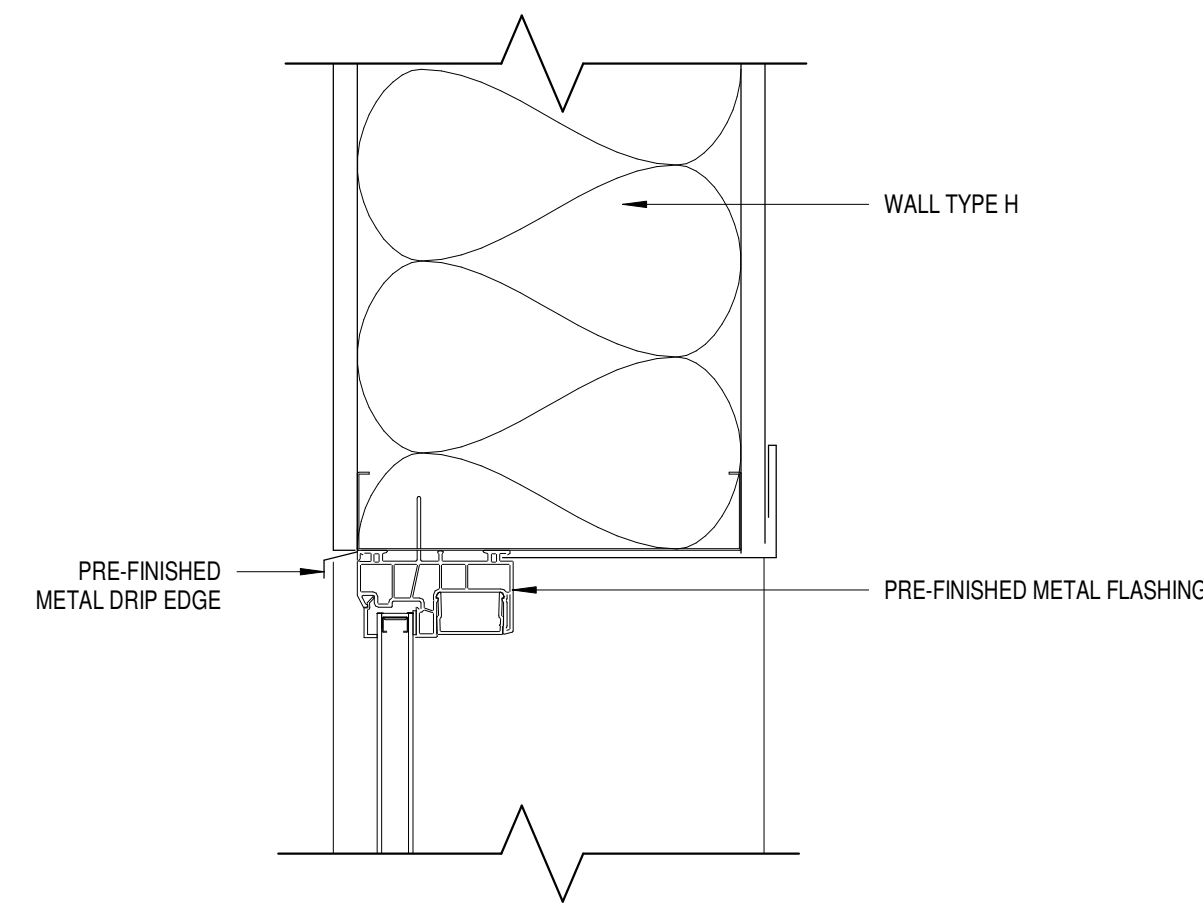
ISSUE DATE:
JANUARY 24, 2020

A501

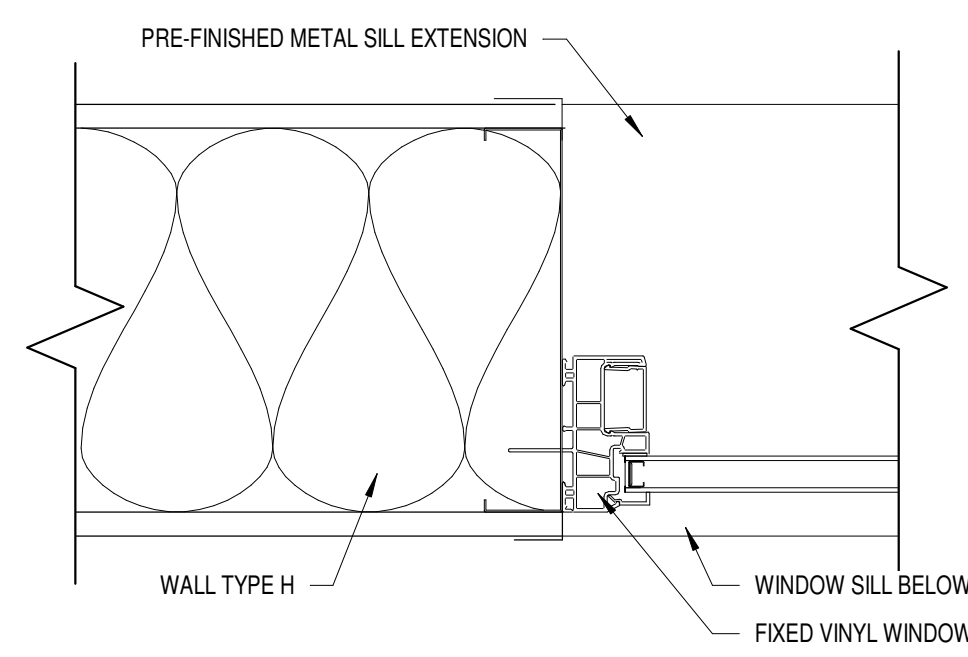


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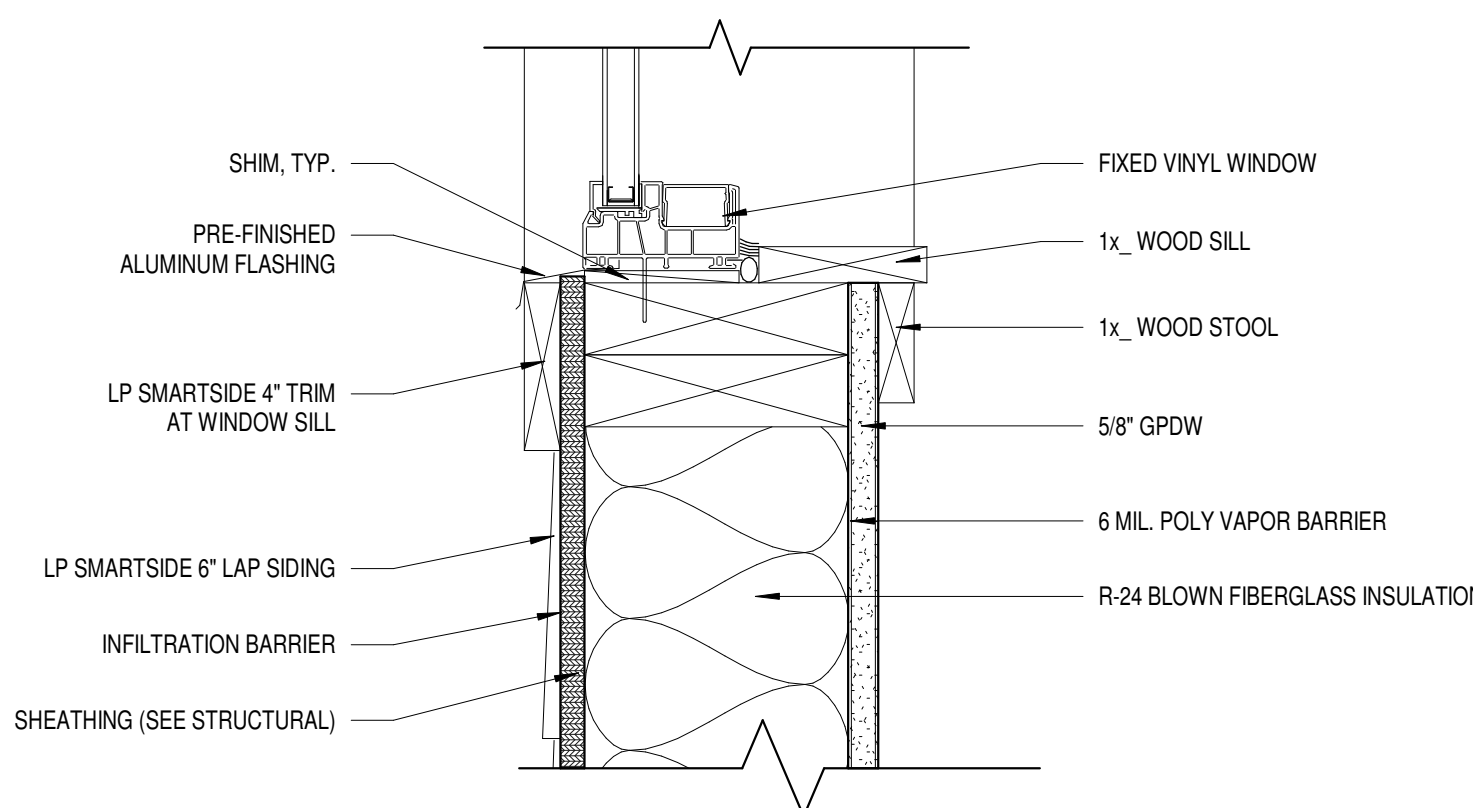
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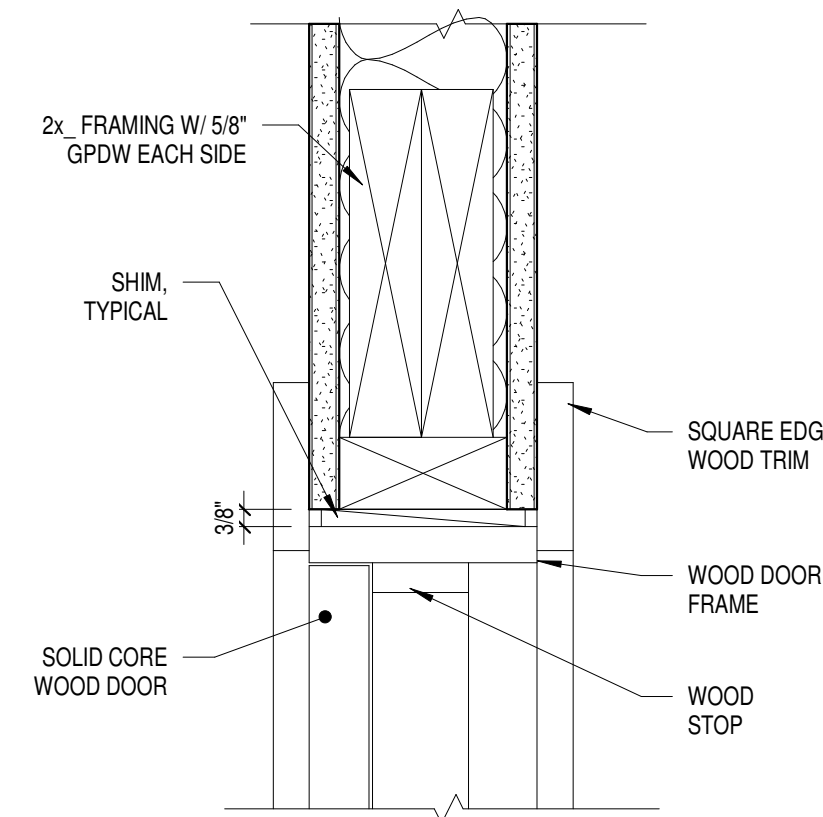
11 **FIXED VINYL WINDOW HEAD**
3" = 1'-0"



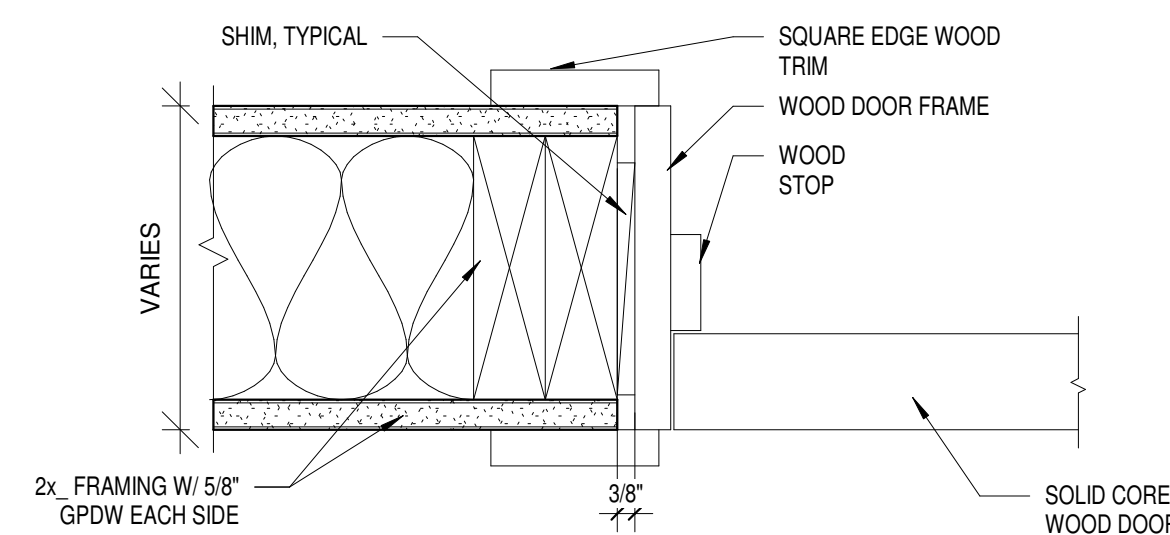
10 **FIXED VINYL WINDOW JAMB**
3" = 1'-0"



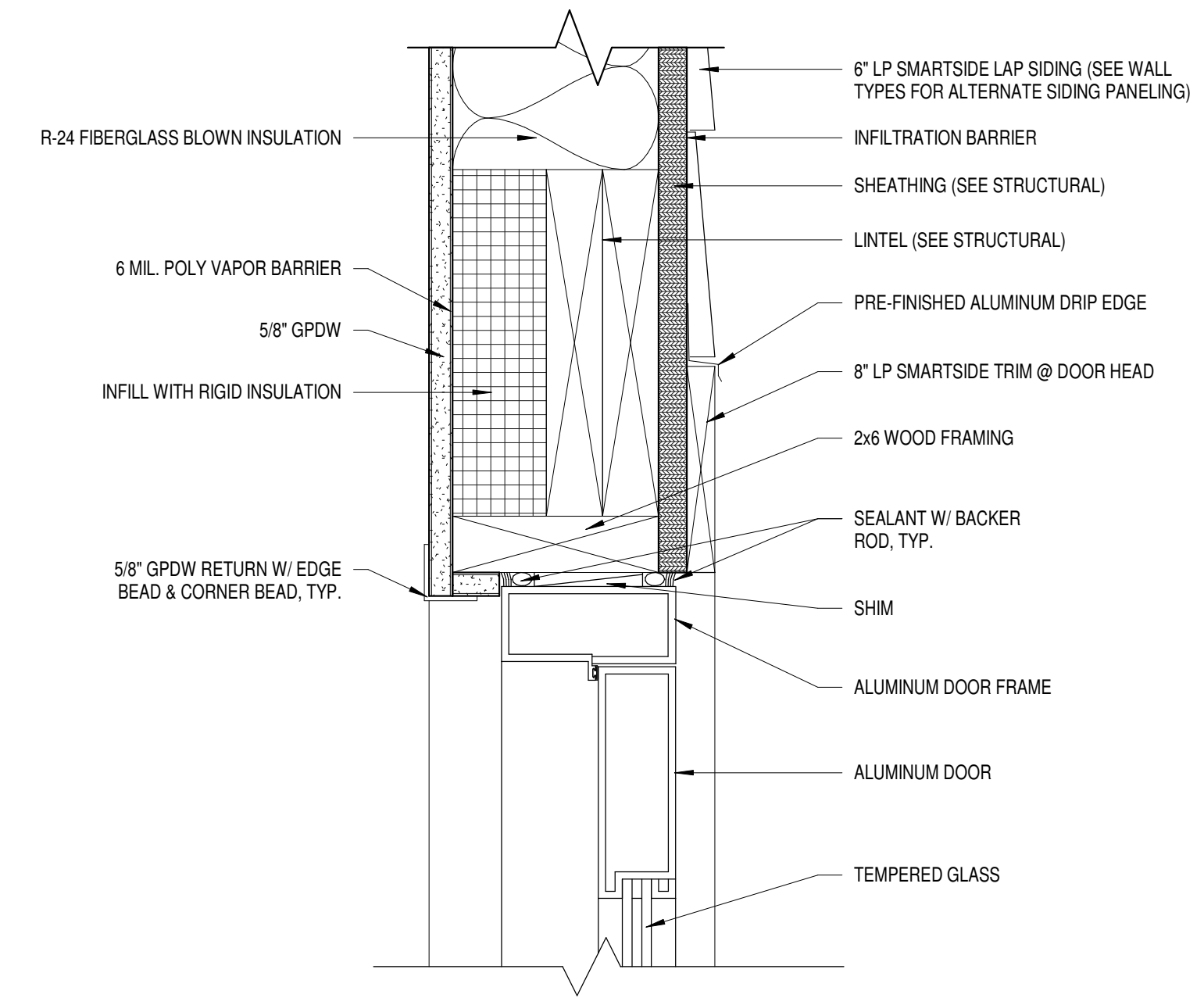
9 **FIXED VINYL WINDOW SILL**
3" = 1'-0"



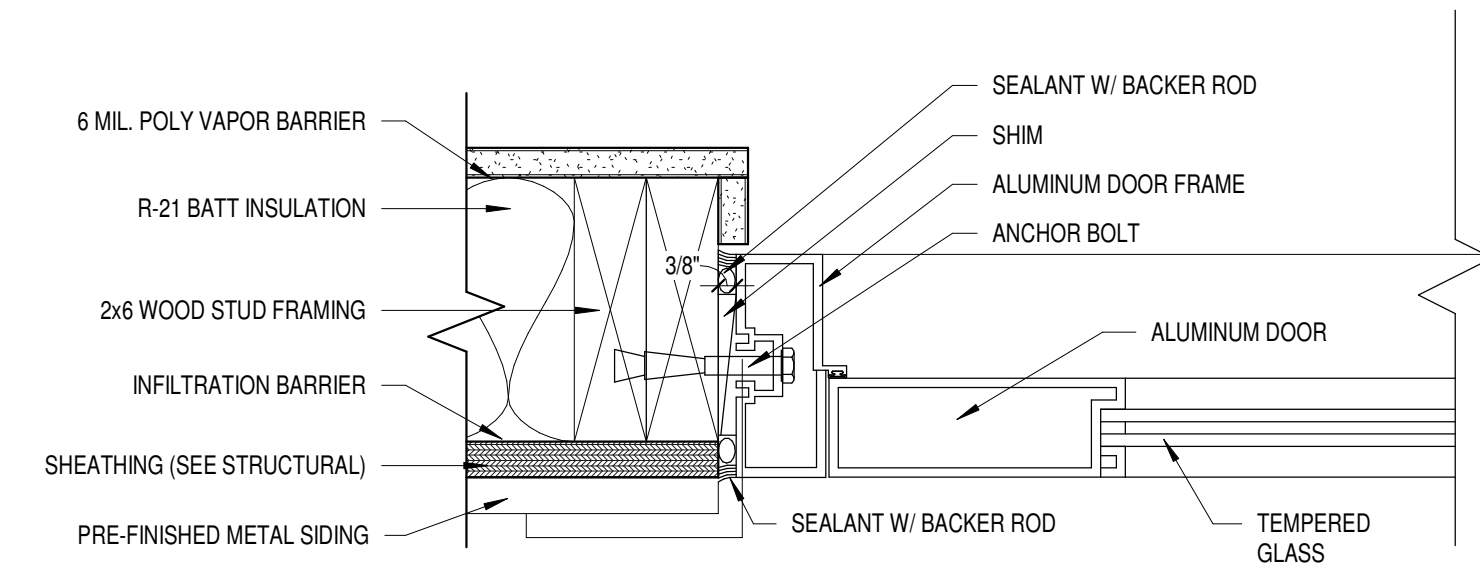
5 **INT. WOOD DOOR HEAD**
3" = 1'-0"



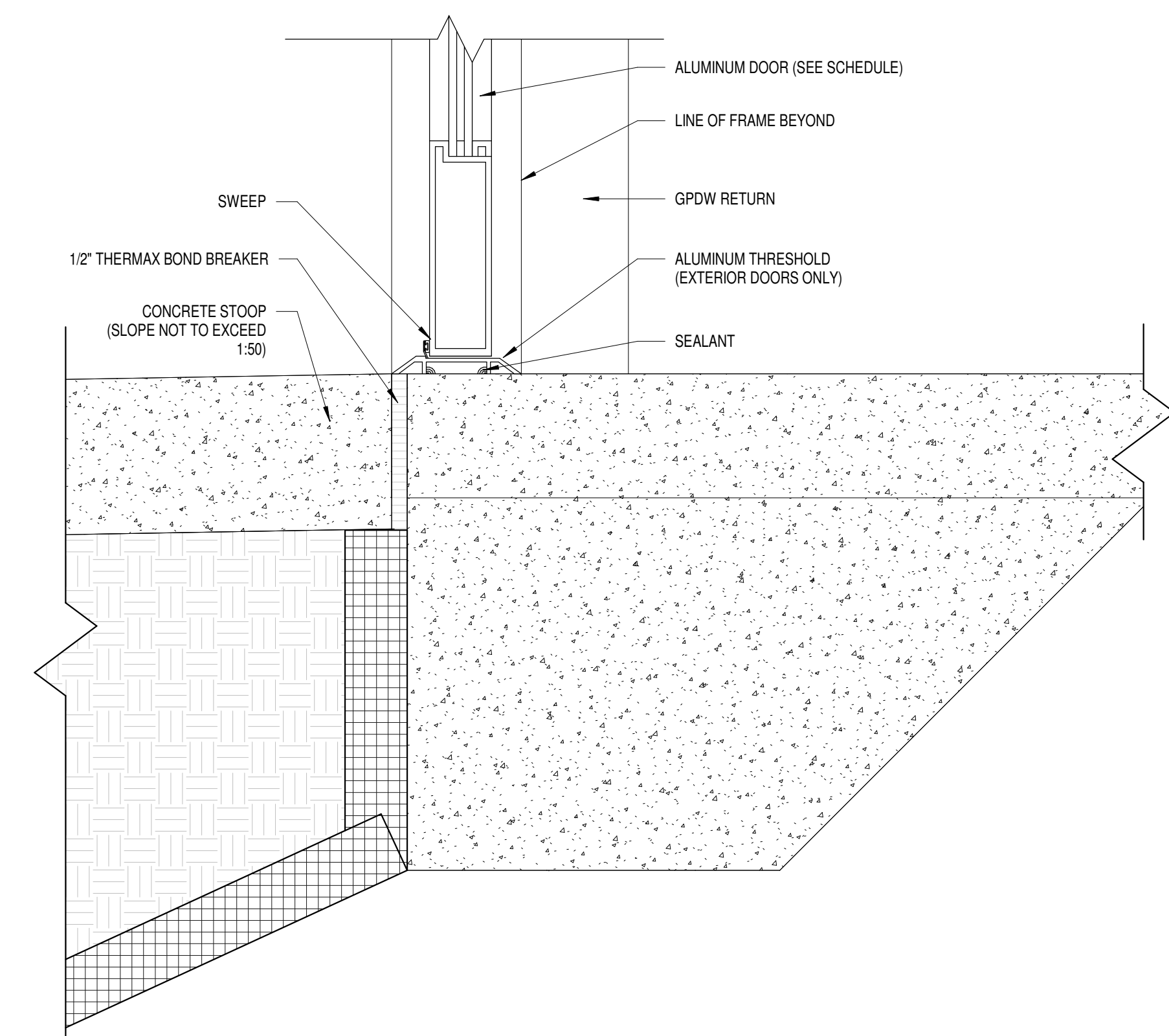
4 **INT. WOOD DOOR JAMB**
3" = 1'-0"



3 **INSULATED ALUMINUM EXT. DOOR HEAD**
3" = 1'-0"

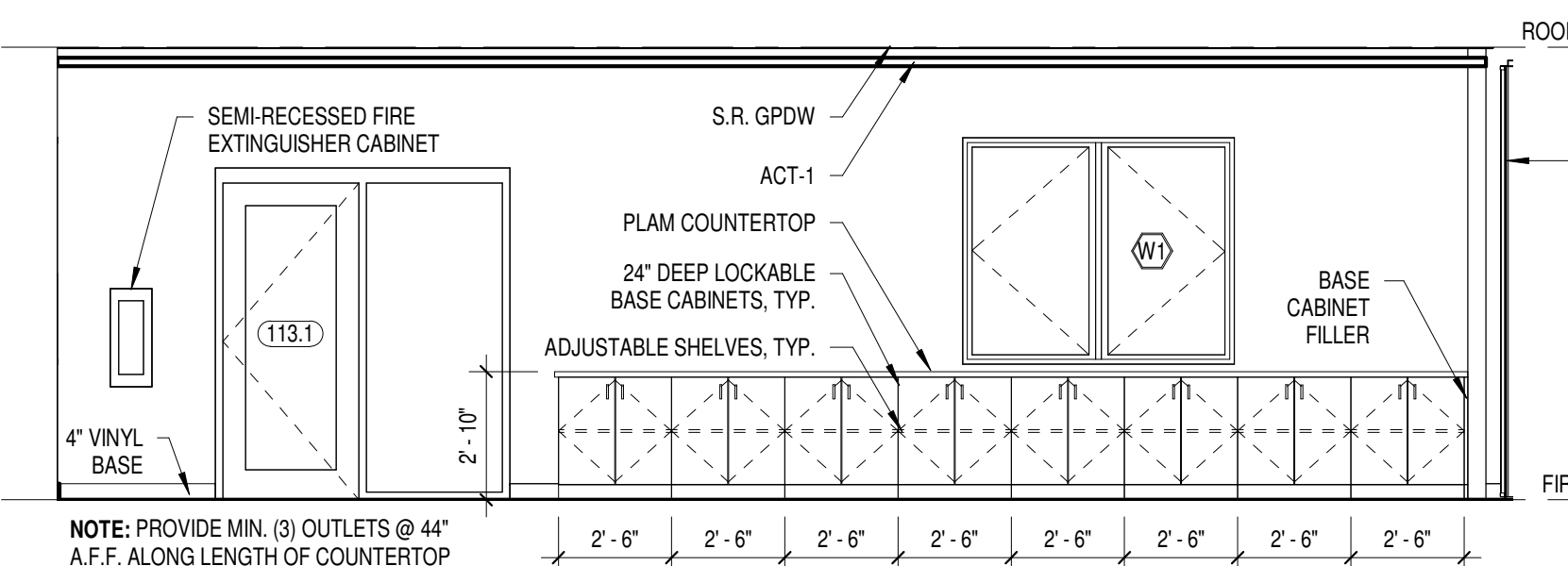


2 **INSULATED ALUMINUM EXT. DOOR JAMB**
3" = 1'-0"

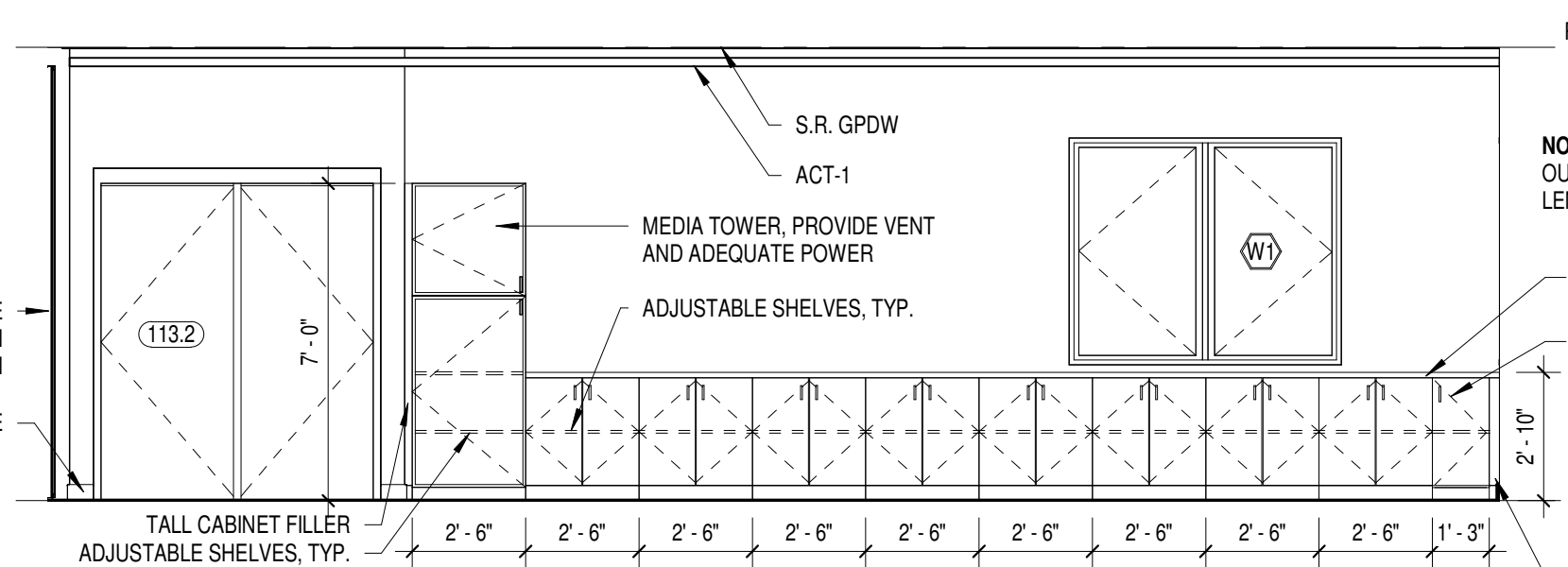


1 **INSULATED ALUMINUM EXT. DOOR SILL**
3" = 1'-0"

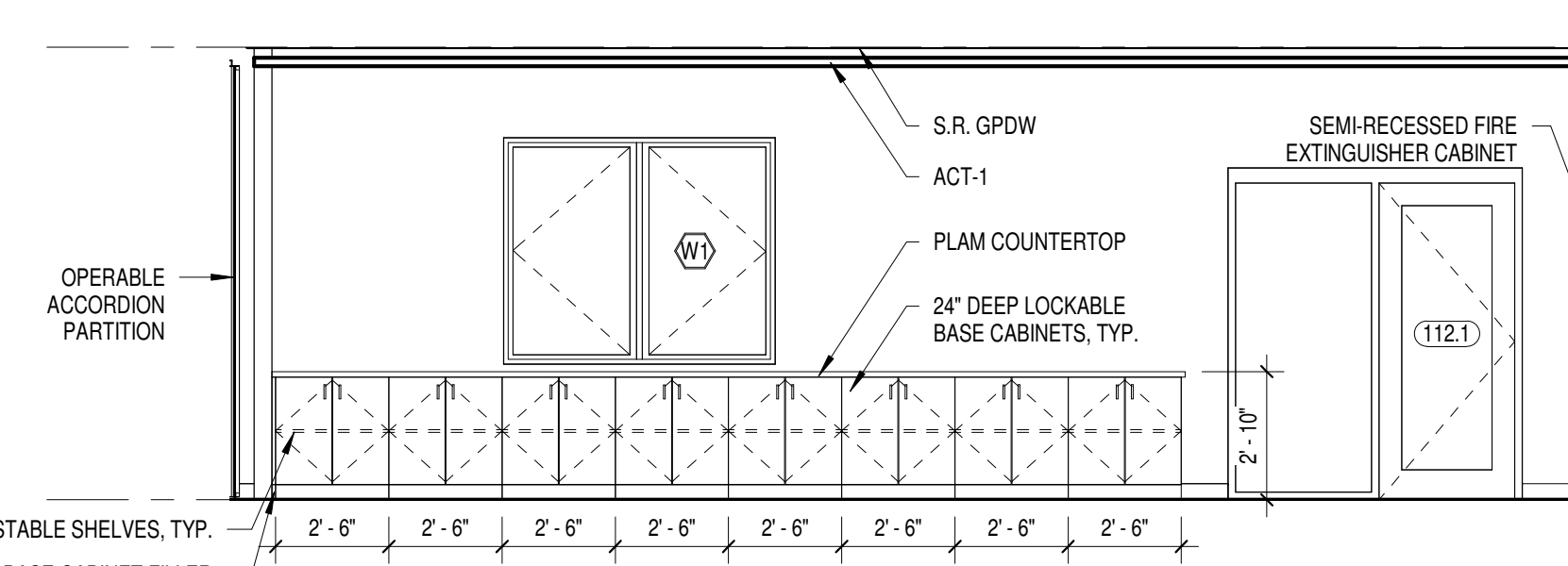
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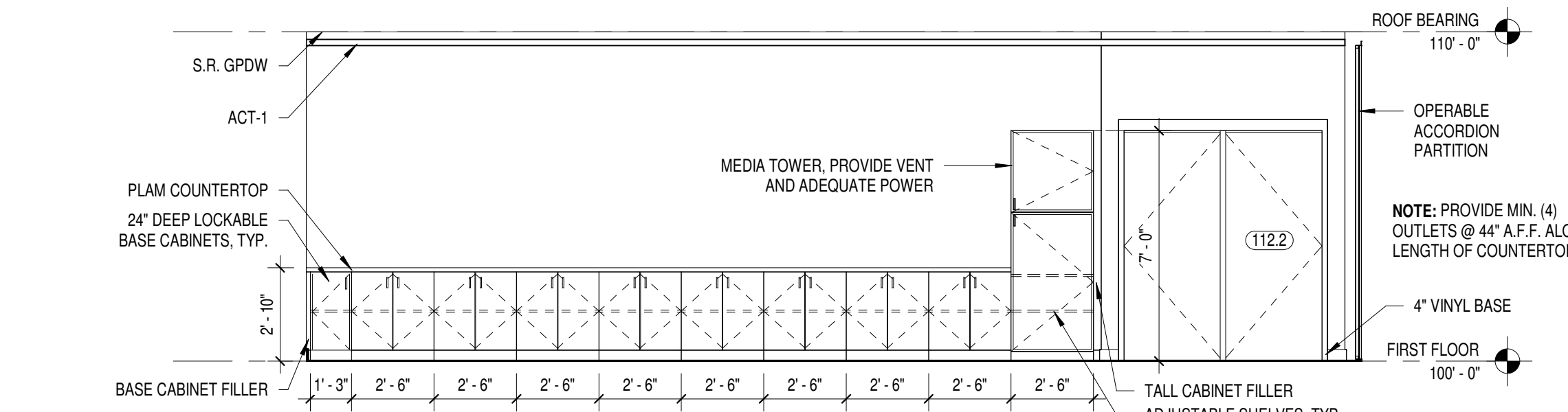
20 113 HALL 2 - EAST
 1/4" = 1'-0"



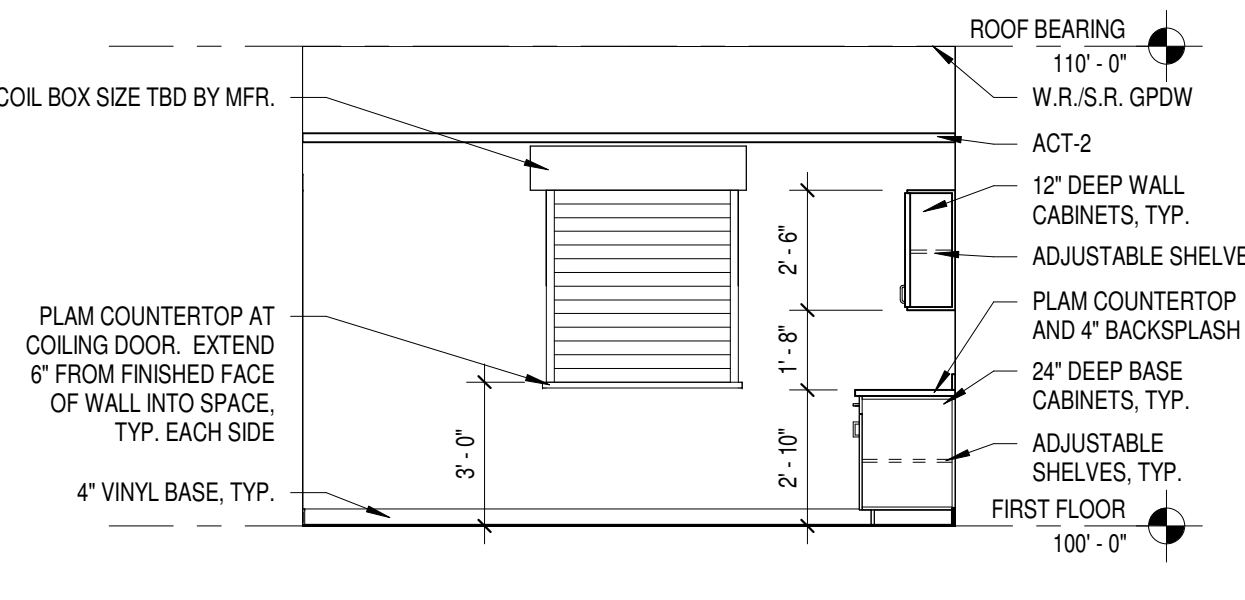
19 113 HALL 2 - WEST
 1/4" = 1'-0"



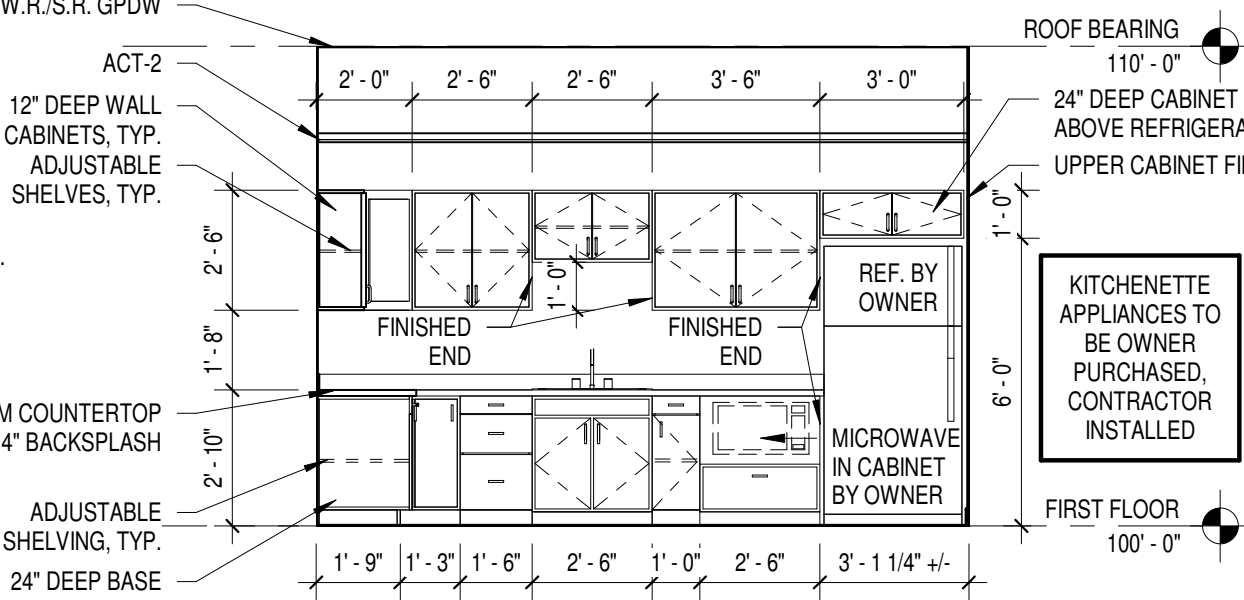
18 112 HALL 1 - EAST
 1/4" = 1'-0"



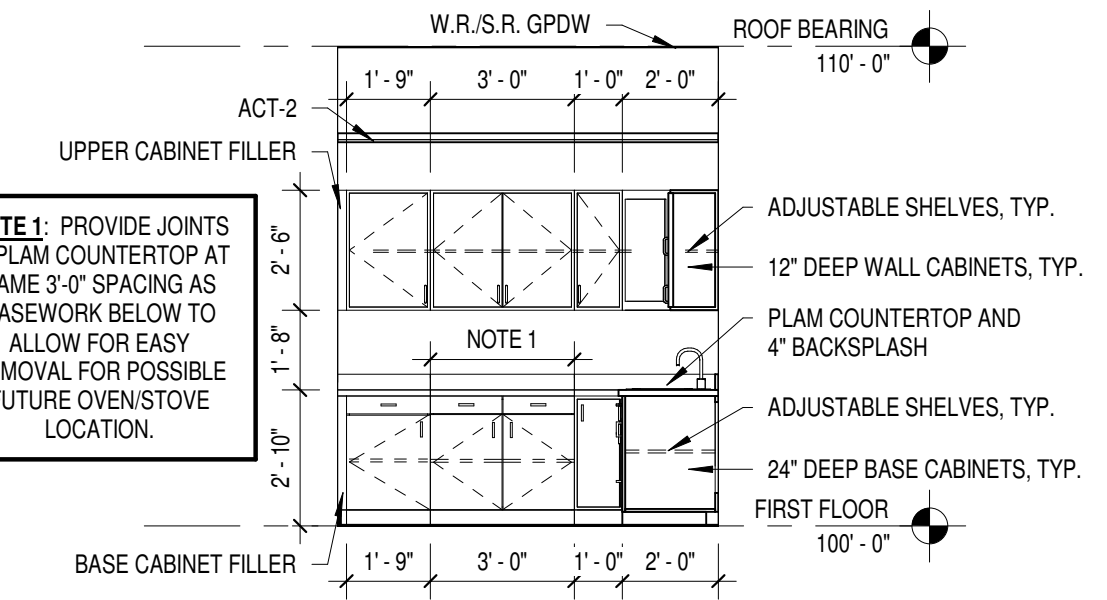
17 112 HALL 1 - WEST
 1/4" = 1'-0"



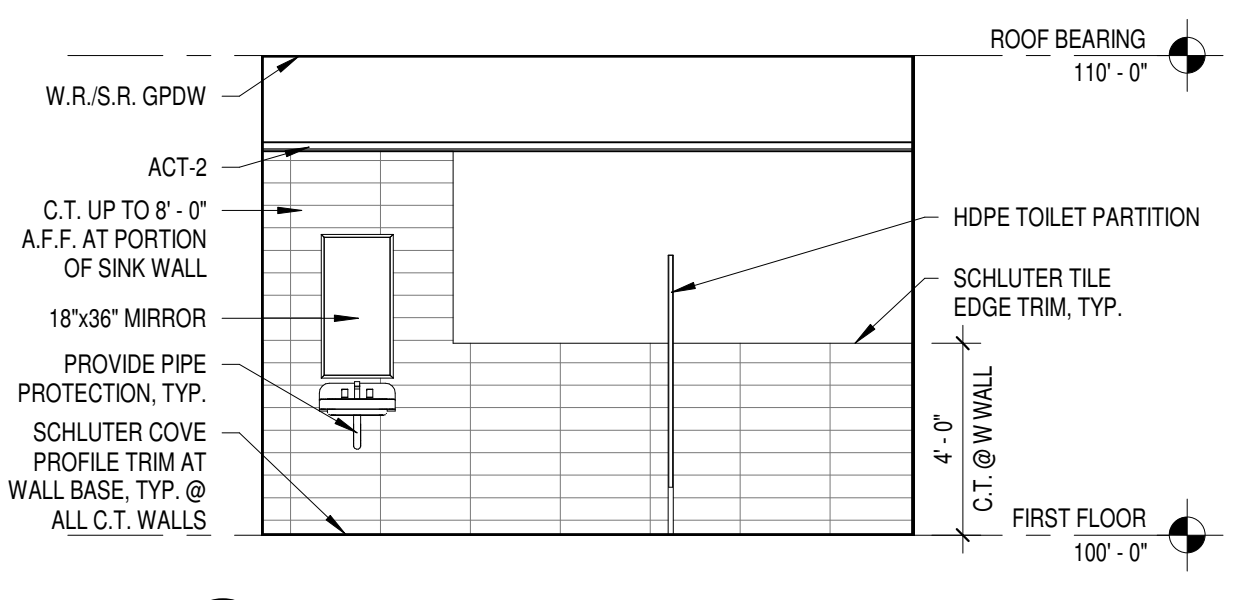
16 108 KITCHENETTE - SOUTH
 1/4" = 1'-0"



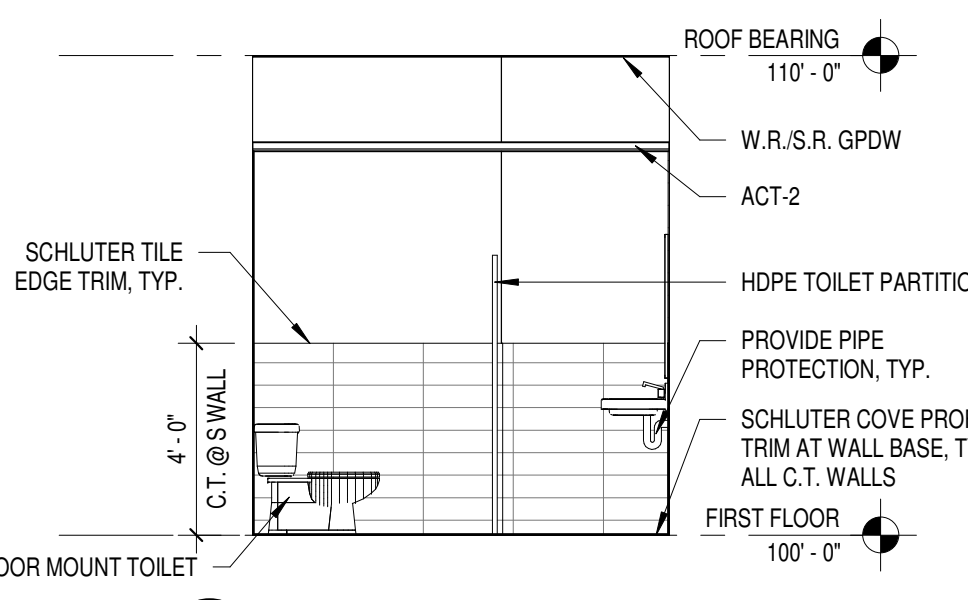
15 108 KITCHENETTE - NORTH
 1/4" = 1'-0"



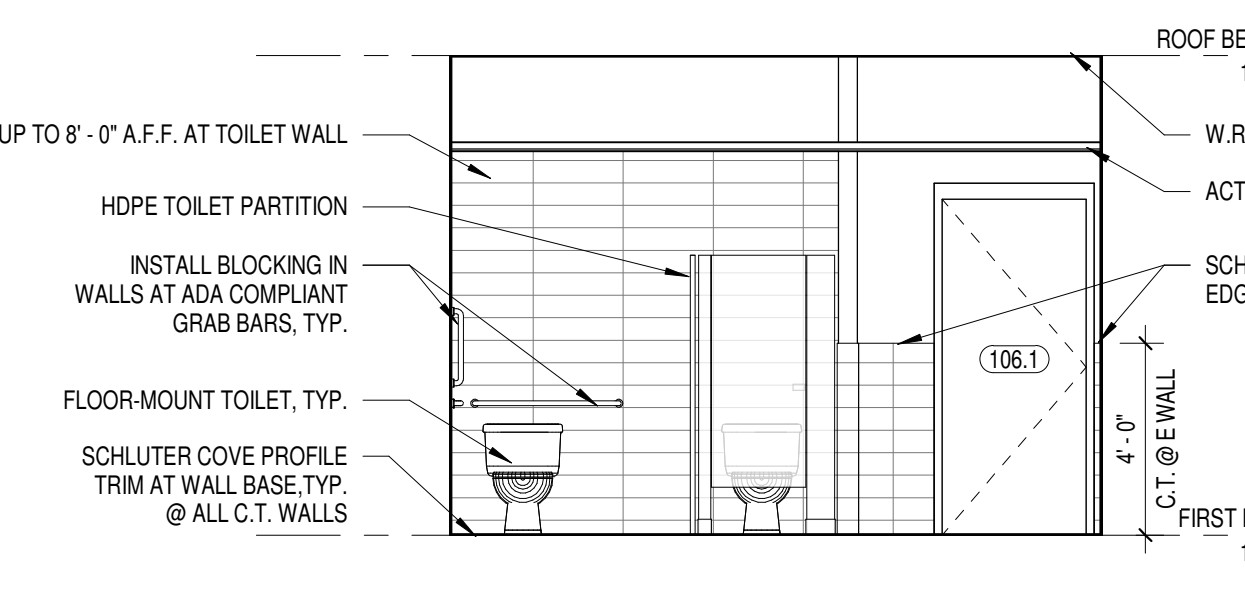
14 108 KITCHENETTE - WEST
 1/4" = 1'-0"



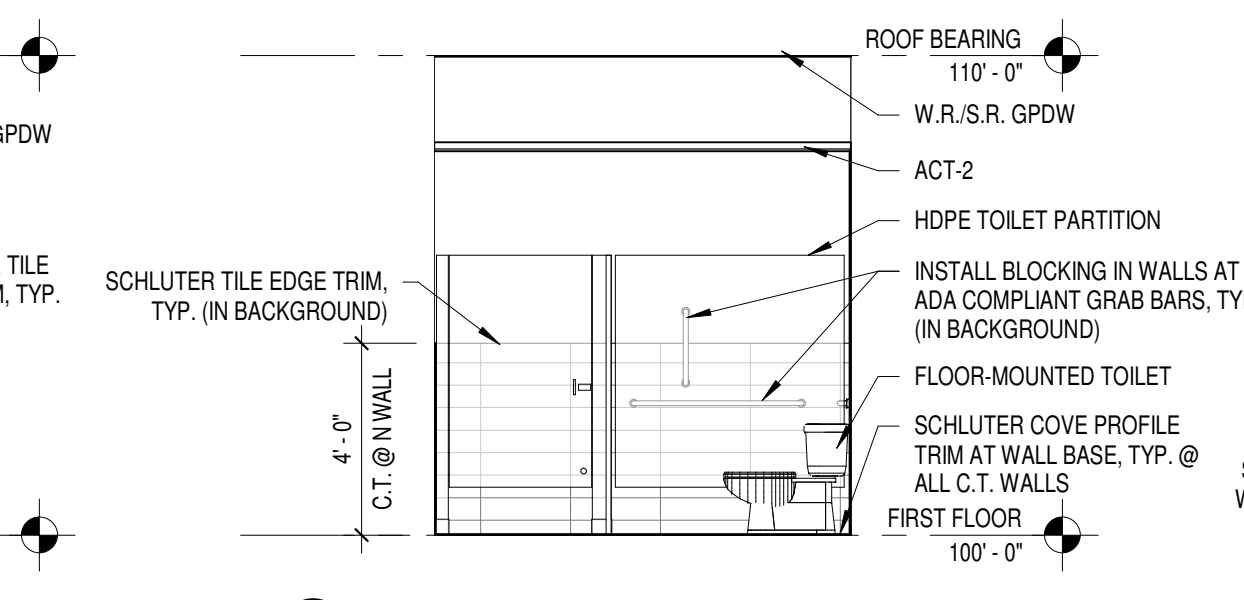
13 106 WOMEN'S - SOUTH
 1/4" = 1'-0"



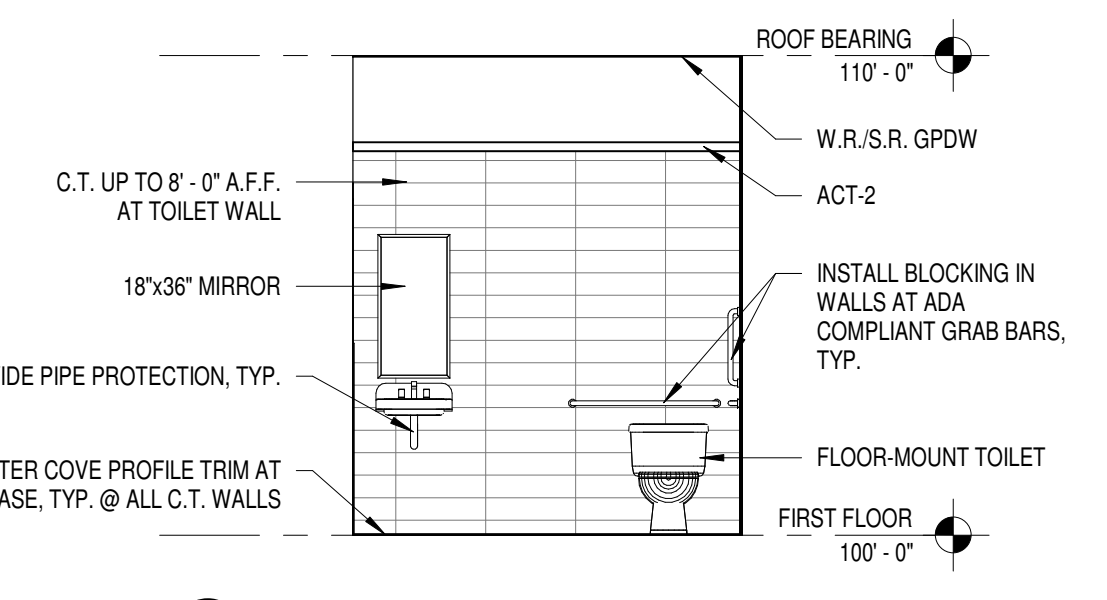
12 106 WOMEN'S - EAST
 1/4" = 1'-0"



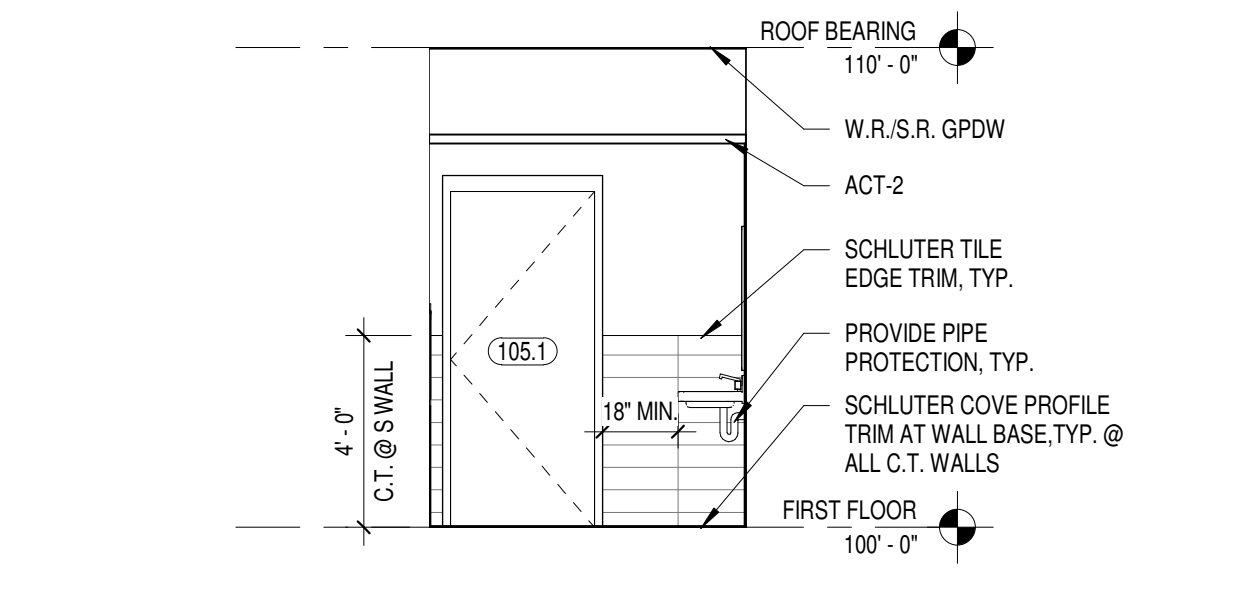
11 106 WOMEN'S - NORTH
 1/4" = 1'-0"



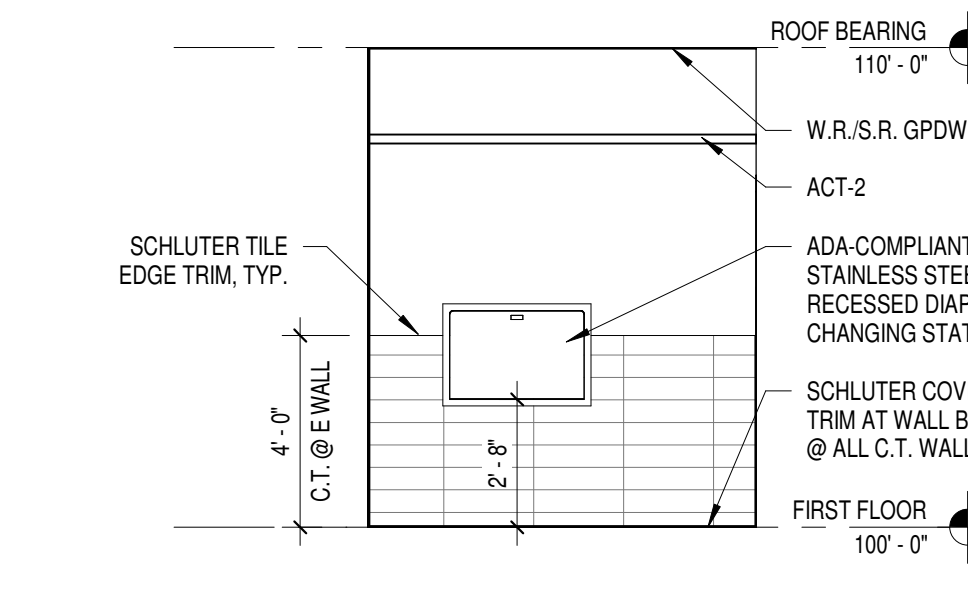
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 1/4" = 1'-0"



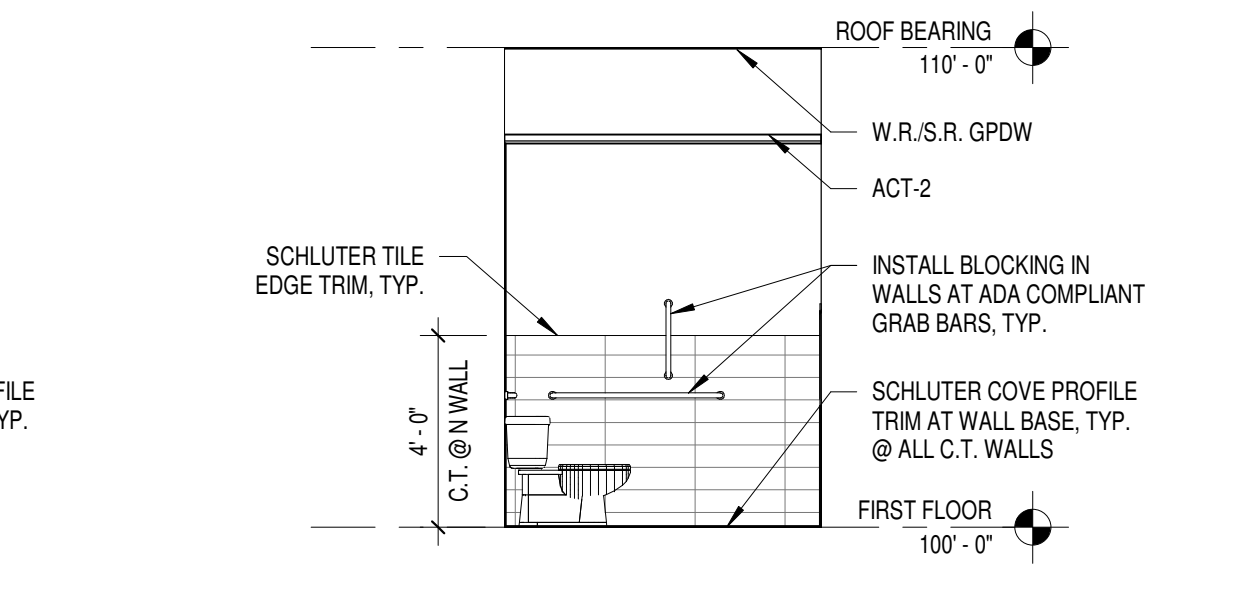
9 105 UNISEX - SOUTH
 1/4" = 1'-0"



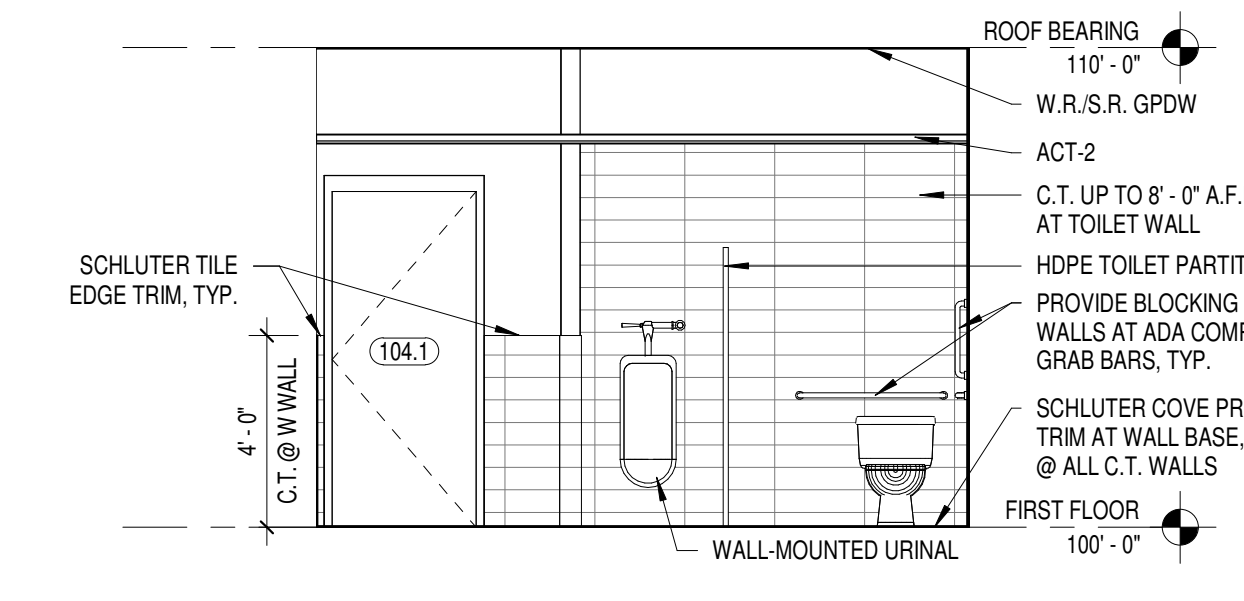
8 105 UNISEX - EAST
 1/4" = 1'-0"



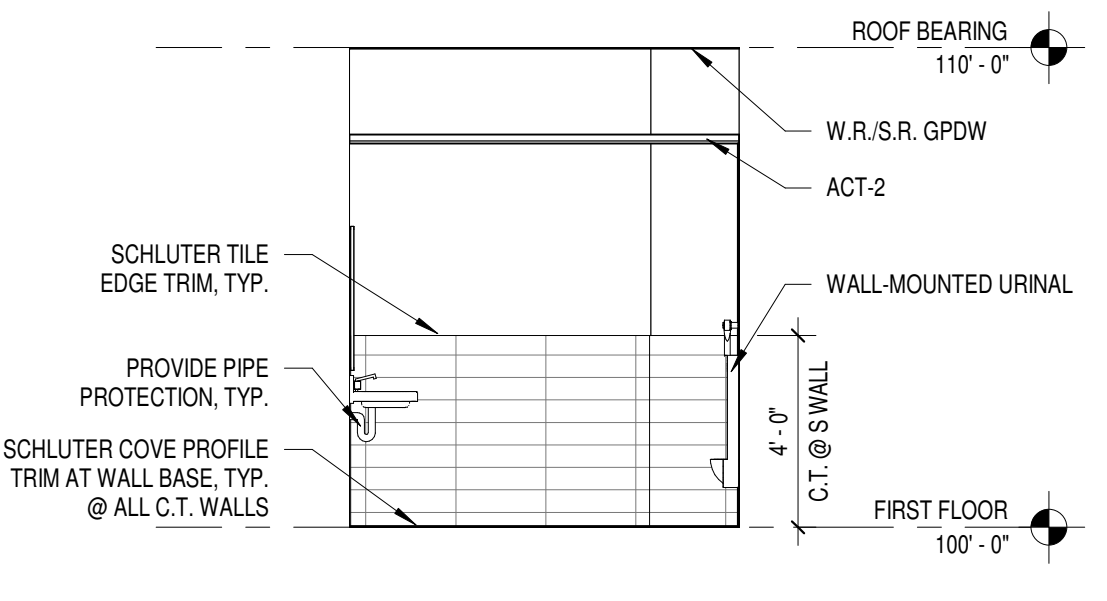
7 105 UNISEX - NORTH
 1/4" = 1'-0"



6 105 UNISEX - WEST
 1/4" = 1'-0"



5 104 MEN'S - SOUTH
 1/4" = 1'-0"



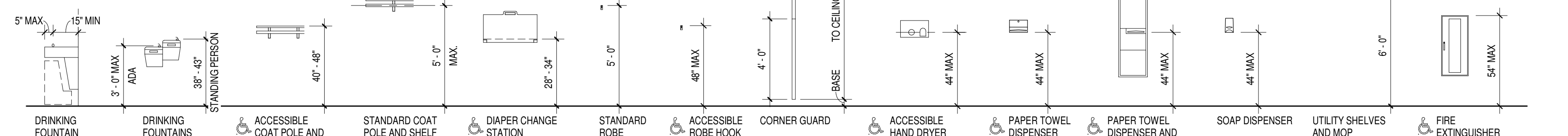
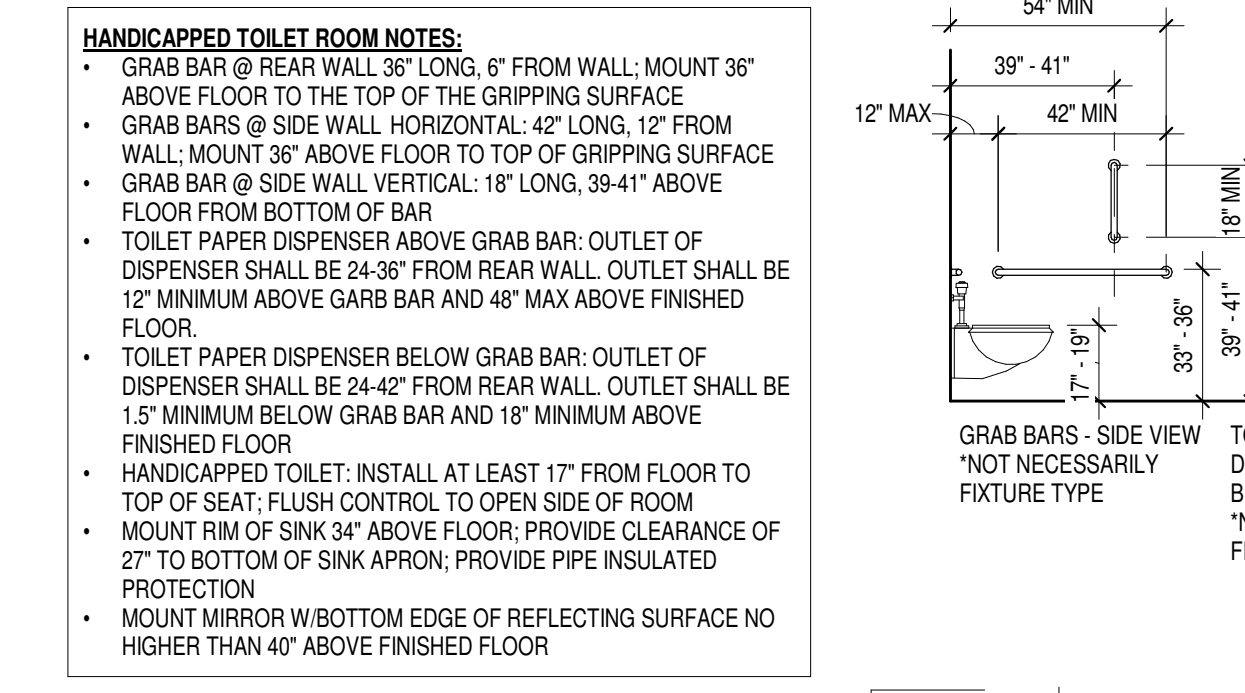
4 104 MEN'S - EAST
 1/4" = 1'-0"



3 104 MEN'S - NORTH
 1/4" = 1'-0"



2 104 MEN'S - WEST
 1/4" = 1'-0"



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REVISIONS:	NO.	DATE

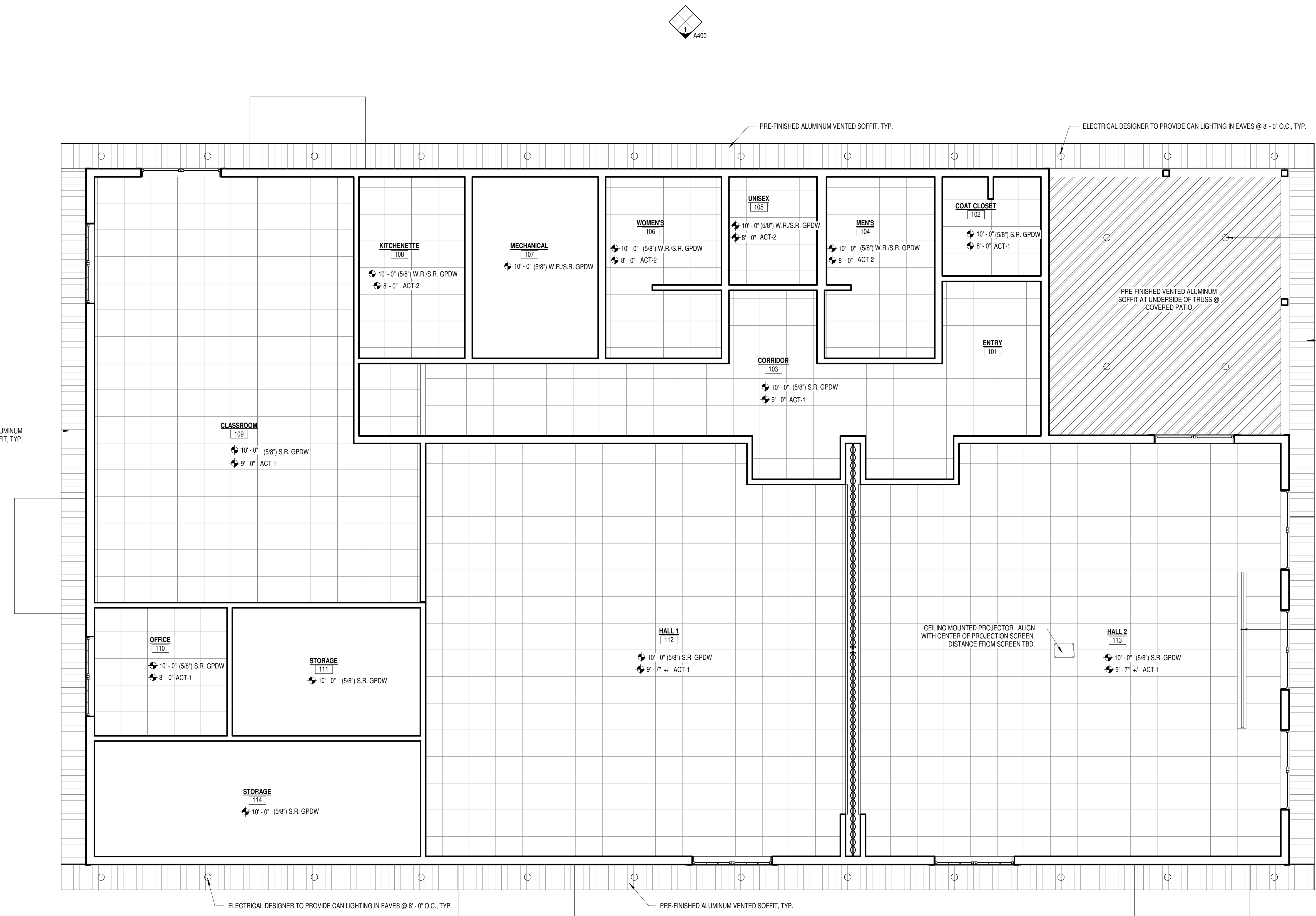
ISSUE DATE:
JANUARY 24, 2020

A700

2dip PROJECT # 1994

GENERAL CEILING PLAN NOTES

- A. GPDW AT UNDERSIDE OF TRUSSES TO HAVE CONTROL JOINTS @ 20' - 0" O.C. MAX.
- B. ALL LIGHTING TO BE DESIGNED BY OTHER.



1 REFLECTED CEILING PLAN
1/4" = 1'-0"

1/16/2020 11:52:22 AM

Parkland Dedication

2020 January 13

TO: City of Altoona City Council
City of Altoona Plan Commission
City of Altoona Parks Board

FROM: Joshua Clements AICP, City Planner

CC: Mike Golat, City Administrator
Dave Walter, Director of Public Works & City Engineer

RE: Parkland Dedication

One method of ensuring provision of adequate and desirable public lands is through the required dedication of parkland and other open spaces during the development process. These dedications and/or impact fees are a method to assign a proportionate share of costs the development imposes upon the community. This exercise of police power is similar to reserving land for public right-of-way, utilities, or other public facilities.

The parkland dedication provision is contained in Altoona Municipal Code Chapter 18.08 of [Title 18: Subdivisions and Land Divisions](#). The minimum dedication requirement is 5% of the total area of a subdivision. Where the subdivider and City agree land dedication is not in the best interest of the City, a fee shall be required in lieu of dedication. There is an option to combine land dedication and fee with a formula provided by ordinance.

The land dedication provision is triggered when a subdivision (plat or certified survey) is proposed. The specific powers to condition land subdivision approval upon provision of land dedication or fee is provided by [WI Stats § 236.45\(6\)](#)¹. Previously, Altoona Municipal Code allowed for the fee to be paid at the time of sale of a lot or issuance of building permit, recorded as a lien against the property². Although the City Code no longer includes this provision, this option exists in WI Stats³.

The Code further requires that the Council “shall annually, by resolution, establish the total value required for dedicated parkland and/or fees” and shall consider the advice of a Parkland Dedication Committee (18.08.025). This has not been accomplished in recent years.

History

The parkland dedication of five percent of the total area has existed since at least **1981** (Ord 2A-81), where the corresponding fee at that time was \$200 per single-family lot, and \$50 per dwelling unit of multi-family. The annual escalation formula of 50% of the annual percentage growth of equalized value in Eau Claire County from the previous year, was added in 2000 (Ord. 4A-02) when the \$200 fee was increased to \$300, and multi-family fee changed to \$150⁴.

¹ <https://docs.legis.wisconsin.gov/statutes/statutes/236/IX/45/6>

² Removed with Ordinance 4A-02.

³ <https://docs.legis.wisconsin.gov/statutes/statutes/236/IX/45/6/c>

⁴ Based upon U.S. inflation calculators, \$200 in 1981 translates to \$565.91 in 2019. However, change in land value/costs may be different over that period.

Fee in Lieu of Dedication

The following table represents the fee in lieu of dedication at established 2000 levels, adjusted to the current year per the method provided by ordinance.

Fee in Lieu of Dedication

Year	EC County Equalized Value	Change	50% of change	Park Land Fee	
				Per Lot	Multi-Unit Per Unit
2000	\$ 4,135,030,600			\$ 300.00	\$ 150.00
2001	\$ 4,508,935,400	\$ 373,904,800	4.52%	\$ 313.56	\$ 156.78
2002	\$ 4,820,083,600	\$ 311,148,200	3.45%	\$ 324.38	\$ 162.19
2003	\$ 5,177,368,500	\$ 357,284,900	3.71%	\$ 336.40	\$ 168.20
2004	\$ 5,834,287,700	\$ 656,919,200	6.34%	\$ 357.75	\$ 178.87
2005	\$ 5,856,977,400	\$ 22,689,700	0.19%	\$ 358.44	\$ 179.22
2006	\$ 6,178,679,300	\$ 321,701,900	2.75%	\$ 368.29	\$ 184.14
2007	\$ 6,454,280,300	\$ 275,601,000	2.23%	\$ 376.50	\$ 188.25
2008	\$ 6,697,577,200	\$ 243,296,900	1.88%	\$ 383.60	\$ 191.80
2009	\$ 6,730,079,200	\$ 32,502,000	0.24%	\$ 384.53	\$ 192.26
2010	\$ 6,686,311,700	\$ (43,767,500)	-0.33%	\$ 383.28	\$ 191.64
2011	\$ 6,727,328,500	\$ 41,016,800	0.31%	\$ 384.45	\$ 192.23
2012	\$ 6,722,050,200	\$ (5,278,300)	-0.04%	\$ 384.30	\$ 192.15
2013	\$ 6,907,862,700	\$ 185,812,500	1.38%	\$ 389.61	\$ 194.81
2014	\$ 7,173,688,100	\$ 265,825,400	1.92%	\$ 397.11	\$ 198.55
2015	\$ 7,499,941,900	\$ 326,253,800	2.27%	\$ 406.14	\$ 203.07
2016	\$ 7,850,311,700	\$ 350,369,800	2.34%	\$ 415.63	\$ 207.81
2017	\$ 8,295,565,000	\$ 445,253,300	2.84%	\$ 427.41	\$ 213.71
2018	\$ 8,754,801,800	\$ 459,236,800	2.77%	\$ 439.24	\$ 219.62
2019	\$ 9,220,492,300	\$ 465,690,500	2.66%	\$ 450.93	\$ 225.46

Official Map

Parkland is one of the elements specifically allowed through the City’s Official Map powers described in [WI Stats § 62.23\(6\)\(c\)](#)⁵. This enables a City to proactively identify specific parcels, features, corridors, or other areas to be so reserved within the City and within the extraterritorial jurisdiction (1.5 miles from city boundary).

The City subdivision title requires that, when a land division is proposed, land within those boundaries identified as parkland shall be dedicated to the City, upon confirmation and acceptance by the Council Council by recommendation of the Plan Commission and Parks Board (18.08.048). If additional land is identified and reserved through the Official Map or Master Plan that is greater than the minimum lands required (5%), the owner shall reserve the identified lands for a period not less than two years through agreement for subsequent acquisition by the City (18.08.070).

Determination

The City Council “shall have the authority to determine the suitability and adequacy of parkland, conservancy areas, and recreational trails proposed for dedication”, upon evaluation of dedication requirements and

⁵ <https://docs.legis.wisconsin.gov/statutes/statutes/62/1/23/6>

relationship of adopted plans and maps (18.08.048). The suitable and dedication of such land shall be subject to approval by the Plan Commission (18.08.015).

Further, “drainageways, wetland, or areas reserved for streets shall not be considered as satisfying land dedication requirements” (ibid). This should be interpreted in a manner that storm water facilities shall not contribute toward the minimum dedication. In addition, those areas that are unbuildable or have limited availability for recreation, such as wetlands and steep slopes, should not contribute toward parkland dedication at the same rate due to limited recreation potential, but may be considered for contributing toward conservancy areas for other valuable purposes.

Since the Title refers to the Plan Commission and Council for similar duties with regard to determining suitable land dedication, staff recommends the Parks Board and Plan Commission each consider and recommend action to the Council.

Comprehensive Plan

The Comprehensive Plan (2009) is the principal policy document pertaining to the governance of land, development, transportation and other elements, consistent with WI Stats and case law. Section 2.3.2 includes the following as a Goal:

(6) Parks – The City will maintain a Five Year Park, Recreation & Open Space Plan to coordinate & prioritize long-term park and recreation improvements. The City encourages the connectivity of local park and recreational facilities with regional facilities, via bicycle trails or marked routes on existing roads. The City will require all proposed residential subdivision developments to dedicate land, or pay a fee in lieu thereof, for public parks, recreation, and open space acquisition and development (in accordance with State Statute).

The Plan also includes reference to National Recreation and Park Association recommendations “that most residents should be within a ten minute walk or 1/3 mile from a public park or open space area and communities should maintain an average of 12 acres of park and recreational land per 1,000 residents.” Although the Plan does not explicitly adopt those standards, inclusion in the Plan is suggestive of pursuing these goals⁶.

Rational Nexus

As noted earlier, the City of Altoona has required parkland dedication or fee in lieu since at least 1981. The State of Wisconsin subsequently adopted legislation in 1993 to govern impact fees ([§ 66.0617](#))⁷. Act 477, effective 2006, modified the eligible park facilities from the broadly described “parks, playgrounds and other recreational facilities” to “parks, playgrounds and land for athletic fields.”

Wisconsin Statutes require that impact fees bear a rational nexus to proportionate impact, and be based upon a needs assessment meeting standards defined by Statute. Staff is collecting examples of subdivision ordinances, parkland impact fee arrangements and associated fee studies. At this time, staff does not have a comprehensive collection of comparison materials on which to draw generalizations or more detailed recommendations.

Since impact fees must bear a rational relationship to proportionate impact, they must therefore not be levied to address existing deficiencies where they may exist. Therefore, it is understood that any new development and

⁶ The Comprehensive Plan includes additional goals, objectives and standards pertaining to parkland, trails, and other public spaces, including the Future Land Use Map, but it is not necessary or material to explore these further in this document.

⁷ <https://docs.legis.wisconsin.gov/statutes/statutes/66/VI/0617>

newly developed areas shall be arranged, conditioned, and carried out to meet all pertinent goals and standards, including adequate minimum parkland, characteristics and arrangement thereof.

Other Standards

In a brief examination of park planning practices, and as noted above, the National Recreation and Park Association recommends 12 acres per 1,000 persons. According to NRPA, the median parkland area per 1,000 residents for cities less than 20,000 in population is 11.8 acres among reporting member jurisdictions⁸. Parkland takes multiple forms and functions, with high-amenity parks such as River Prairie functioning differently and advancing different goals within the community than less developed conservency areas such as Centennial Park or Fairway Park.

Staff Recommendations

- (1) Consider adoption of a Resolution *confirming* parkland dedication fees, consistent with 18.08.025 (see table enclosed), as soon as practicable, and prior to approving a development agreement with a potentially affected property. Absence of such a resolution in recent years has not prevented the City from levying the fees consistent with the code. Such a resolution would not make any changes to existing ordinances.
- (2) Place the parkland dedication fee values, established by resolution, on the City Schedule of Fees (Ch. 3.08) upon the next revision to that Chapter (which is accomplished by Ordinance).
- (3) Annually consider a resolution confirming park dedication fee values for the following year as soon after equalized values are available, and in conjunction with annual updates to the City Schedule of Fees, typically in December.
- (4) Discuss revisiting and setting city-wide parkland standards, and consider conducting a study regarding the adequacy of existing parkland dedication requirements to meet these objectives. Parkland standards are recommended to be included in the ongoing Parks Plan and subsequently in the Comprehensive Plan. A parkland impact fee study was not in the City 2020 Work Plan, and should be accomplished soon after the Comprehensive Plan to operationalize those goal.

⁸ National Recreation and Park Association, 2019 Agency Performance Review. <https://www.nrpa.org/publications-research/research-papers/agency-performance-review/park-facilities/>. Accessed 2020-0113

THE CITY of *Altoona*

Resolution 2A-20
Confirming Parkland Dedication Fees for 2020

Whereas, the City of Altoona has required dedication of parkland, trails, and other public lands during the land subdivision and development process since at least 1981; and

Whereas, the Comprehensive Plan, Parks Plan and Official Map are utilized to determine goals, standards, characteristics and locations with regard to provision of parkland and associated facilities; and

Whereas, the provision of parkland and corresponding public facilities advance public health, safety and welfare; and

Whereas, providing high-quality parks and public spaces is and has been a cornerstone of the City's approach to pursuing high quality of life for its residents, supportive of economic development objectives, maintaining and preserving natural environments; and

Whereas, development of property represents a rational relationship to, and proportionate impact on, adequate and desirable provision of parkland; and

Whereas, Wisconsin Statutes § 236.45(6), § 62.23(6), and among other entries, confirm the City's jurisdiction to condition development upon adequate provision of parkland, fee in lieu of dedication, or combination thereof; and

Whereas, pursuant to Ordinance 4A-02 and Altoona Municipal Code Chapter 18.08, the City Council shall annually, by resolution, establish the total value required for dedicated parkland and/or fees required in lieu of dedication; and the code therein prescribes the annual adjustment formula; and

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Altoona does hereby confirm the value of fees in lieu of parkland dedication for 2020 shall be:

- (1) \$ 450.93 for each one-dwelling structure, and for each unit of a two-dwelling structure; and
- (2) \$ 225.46 for each unit in a multiple-dwelling structure containing three or more units.

Adopted this 23th day of January, 2020

CITY OF ALTOONA

Drafted By: Joshua Clements, City Planner

Mayor Brendan Pratt

Attest: _____
Cindy Bauer, City Clerk