
THE CITY of *Altoona*

TO MEMBERS OF THE PLAN COMMISSION:

There will be a Plan Commission Meeting on **Tuesday, January 21, 2020 at 5:30 p.m.** held in the Council Chambers at Altoona City Hall.

Agenda:

- I. Call Meeting to Order.
- II. Roll Call.
- III. Citizen Participation Period.
- IV. Discuss/consider approval of minutes of the 2019 December 10 Plan Commission Meeting.
[View Minutes >>](#)
- V. UNFINISHED BUSINESS.
- VI. NEW BUSINESS
 1. Public Hearing at 5:30 p.m. or as soon thereafter as is possible regarding a Preliminary Plat for Prairie View Ridge development as submitted by CE Lighthouse Properties LLC.
[Summary + Materials >>](#)
 2. Discuss/consider recommendation to Council regarding a Preliminary Plat for Prairie View Ridge development as submitted by CE Lighthouse Properties LLC.
[Summary + Materials >>](#)
 3. Discuss/consider recommendation to Council regarding a Certified Survey Map (CSM) to subdivide parcels #201103602000 and #201103601000 and dedicate public right-of-way located at 127 Highway 12 as requested by Jerome Lanners DBA Finland Holdings LLC (Public hearing at the January 23 Council Meeting).
[Summary + Materials >>](#)
 4. Discuss/consider recommendation to Council regarding a Certified Survey Map (CSM) to subdivide parcel #201100201270 in River Prairie into two parcels as initiated by the City of Altoona (Public Hearing at the January 23 Council Meeting).
[Summary + Materials >>](#)
 5. Discuss/consider recommendation to Council regarding a Specific Implementation Plan for Higgins Travel in the Northwest Quadrant of River Prairie.
[Summary + Materials >>](#)
 6. Discuss/consider Site Plan for Parcel #201105302000 located on Otter Road for “Otter Road Storage” as submitted by Jason Gripentrog.
[Summary + Materials >>](#)
 7. Discuss/consider development of property within the Extraterritorial Jurisdiction.
[Summary + Materials >>](#)
 8. Discuss/consider recommendation to Council regarding Resolution 1B-20 confirming parkland dedication fees for 2020.
[Summary + Materials >>](#)

VII. MISCELLANEOUS BUSINESS AND COMMUNICATIONS.

1. Staff Updates (Discussion – No Action).
[Summary + Materials >>](#)
2. Supplemental Materials (Discussion – No Action).
[Summary + Materials >>](#)
3. Staff Service – (Discussion-No Action).
[Summary + Materials >>](#)

VIII. ADJOURNMENT.



Cindy Bauer
City Clerk

Dated: 2020 January 16

Note: If you are unable to attend, please contact 715-839-6092.

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the City Clerk's Office at 715-839-6092 with as much advance notice as possible.

NOTE: It is possible that members of other governmental bodies of the municipality may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Speak Your Peace: The Civility Project

The Common Council of the City of Altoona, Wisconsin, recognizes and has adopted by *Resolution 3B-15* that the nine tools of civility, drafted by *Speak Your Peace: The Civility Project* will provide increased opportunities for civil discourse in order to find positive resolutions to the issues that face our city. These tools include the following:

*Pay Attention | Listen | Be Inclusive | Don't Gossip | Show Respect | Be Agreeable
Apologize | Give Constructive Criticism | Take Responsibility
###*

DRAFT UNOFFICIAL MINUTES

**MINUTES OF THE ALTOONA, WI
REGULAR PLAN COMMISSION MEETING
December 10, 2019**

(I) Call Meeting to Order.

The meeting was called to order by Mayor Brendan Pratt at 5:30 p.m. held in the Council Chambers at Altoona City Hall.

(II) Roll call.

Members present: Brendan Pratt, Andrew Schlafer, Matthew Biren,
Andraya Albrecht, Barb Oas-Holmes and Dean Roth.

Also Present: City Planner Joshua Clements
City Clerk Cindy Bauer

Absent: Bill Hoepner

(III) Citizen Participation Period.

Plan Commission Member Schlafer announced that he will not be seeking re-election for Council Representative in Aldermanic District 3 for the Spring Election in 2020.

Motion by Roth/Biren to close Citizen Participation Period. **Motion carried.**

(IV) Approval of minutes.

Motion by Biren/Oas-Holmes to approve the minutes of the November 12, 2019 Regular Plan Commission meeting. **Motion carried.**

(V) Old Business – none.

(VI) New Business

(1) Discuss/consider recommendation to Council to rezone parcel 201103703000 from R-1, and parcels 201103704000 and 201103602000 from R-1 (temporary designation) located at 5960 US Highway 12 to R-1, TH, R-3 and C as described in the appeal as requested by Finland Holding Group LLC. (Public Hearing at the 2019 December 19 Council Meeting)

City Planner Clements explained that the concept of this development was discussed by the Plan Commission on October 8. The property held by Finland Holdings Group, LLC (Jerome Lanners, Partner) is approximately 54.3 acres and located east of the Windsor Forest neighborhood and west of Mayer Road, adjacent to Highway 12. C&E Wurzer (developer) has provided a proposed development concept (enclosed) depicting arrangement of land uses and infrastructure. The proposed rezoning application mirrors the proposed land use arrangement and is the first step in the implementation.

Approximately 39.6 of the total 54.3 acres of the development area are included in the rezoning appeal. These areas are currently zoned R-1 One-Family Dwelling District. The enclosed Land Use Exhibit Map illustrates the proposed arrangement of lands to be rezoned R-1, TH Twin Home District; R-3 Multiple Family Dwelling District; and C Commercial District.

The proposed land uses are generally consistent with the Comprehensive Plan and related development policies. The Plan Commission discussed the proposed change of 7.5 acres from “General Commercial” in the Future Land Use Map to be available for multi-family development. The Plan Commission agreed with the proposal and directed staff to prepare amendments to the City’s Future Land Use Map. The Map will be amended in conjunction with revisions to the City’s Comprehensive Plan.

As further described in the Staff Report and petitioner materials, of the 54.41 acre development area, the total would be 44.3% residential districts, 27.2% commercial, 16.8% right-of-way, and 11.6% storm water facilities. The anticipated residential development is to yield 242 dwelling units. The anticipated build-out for the residential portion is 5 years (2025). City Planner Clements said if recommended for approval by the Plan Commission, the item will be considered by the City Council on December 19 following a public hearing. Clements mentioned that rezoning is the first step in the land entitlement and development process. If approved, the developer and owner must complete a preliminary plat, development agreement, and civil plan prior to final plat. Once the Plat is approved, the developer may proceed with infrastructure development. The proposed commercial and multi-family uses shall require approved site plans.

Craig Wurzer, Developer for this development provided a brief timeline of the infrastructures and types of units being proposed.

Motion by Oas-Holmes/Roth to recommend to City Council approval of the appeal for rezoning. Albrecht abstained. **Motion carried.**

(VI)(2) Discuss/consider recommendation to Council regarding a Specific Implementation Plan for the Eau Claire Realty Multi-Tenant Building in the Northwest Quadrant of River Prairie.

City Planner Clements explained that the Specific Implementation Plan (SIP) illustrates the architecture and site design elements for a 7,828 sf² one-story multi-tenant building to be located at the corner of Meadowlark Lane and Blazing Star Blvd in River Prairie NW Quadrant. The site is located west of Cabin Coffee, across the existing City-owned parking lot. The proposed development area is 0.37 acres (16,117 sf²) and is a prepared “pad ready” site. Vehicle parking will be accommodated by the existing City parking lot and street parking, with access utilizing existing driveways.

Staff recommends that the Plan Commission recommend approval of the Specific Implementation Plan as being consistent with the River Prairie Design Guidelines and Standards with the following specified modifications and conditions:

A. Access, Circulation & Parking (RPDG IX. 1)

1. The proposed back-of-curb walkway shall be six feet in width, or a structural treatment proposed to prevent vehicle overhang into the walkway.
2. Add not less than two bicycle racks at an appropriate location near the public entrances. Bicycle racks shall be “U Stand” or “Rounded A” design, or substantially similar, as described in *Altoona Municipal Code* Chapter 19.52, installed per manufacturer specifications.

B. Landscaping [RPDG IX 6]

1. The elements identified in the concept landscape plan as “small deciduous tree” shall be native canopy trees, per the River Prairie Design Guidelines: Canopy trees shall only be substituted with ornamental trees “where overhead lines and fixtures prevent normal growth and maturity” [RPDG IX 6 (D) 2(c)]. See “Suggested Trees for Streetside Planting in Western Wisconsin, Hardiness Zone 4”, WI DNR, selected from “*Tall Trees*” and/or “*Medium Trees*”.
2. Bio-infiltration devices and water quality swales shall be attractively landscaped with horticulturally appropriate rain garden plantings and shall not be predominately turf grasses.

C. Building and Architectural Standards [RPDG IX 7]

1. The refuse enclosure shall be gated and constructed of materials consistent to those of the principal building façade [RPDG IX 7 H], screened with vegetation to the maximum degree practicable.
2. All building and site signs shall require sign permits and meet design requirements outlined in the River Prairie Design Guidelines, IX 5. Insufficient information provided in the SIP

submittals (dimensions, total area calculations, design, lighting, etc.) for sign review and approval.

3. All exterior lighting on the site shall be of full cut-off design and be shielded to prevent spillover of direct light onto adjacent properties [*Altoona Municipal Code 19.59.030 (H)*].
4. Any/all mechanical equipment, including roof-mounted units, shall be appropriately screened by building-compatible materials or landscaping [RPDG, IX 7 H].

D. Utilities

1. If the building features a sprinkler system, the Fire Department Connection (FDC) shall be 4” STORTZ and shall be located on the street-facing or parking lot facing façade of the building. Final placement shall be reviewed and approved by Altoona Fire Department.
2. Private utilities, including electric transformers, shall be located such as to minimize impact on landscaping. Private electric service shall be located on private property under softscape, avoiding impacts on trees and major landscape elements. City of Altoona reserves the right to review and approve location of electrical transformers and other visible fixtures.
3. Submittal and successful review of final *storm water plan* and *civil site plan* by City Engineer as described in the *Altoona Municipal Code* Chapter 14.

E. Operational

1. The petitioner shall enter into an agreement regarding utilization of City property for placement of the refuse enclosure, and related operational considerations.
2. The petitioner / operator(s) shall attempt to coordinate deliveries and refuse collection to take place during off-peak business hours to minimize conflicts with pedestrian and automobile circulation within the public parking lot and adjoining walkways [RPDG, IX 7.1 I].

Motion by Biren/Roth to recommend approval of the Specific Implementation Plan for the Eau Claire Realty Multi-Tenant with staff recommended conditions. **Motion carried.**

(VI)(3) Staff Updates (Discussion – No Action)

City Planner Clements updated the Plan Commission Members on the following staff updates:

Parks Plan – Staff presented to the Parks Board on November 18th. Progress continues on the planning documents, but nothing significantly new to present or discuss at this time. Plan review and end-of-year capital project administration has been the focus over the past two weeks. This remains the highest priority project for completion (although plan review is more timely).

Recent work on the Parks Plan has focused on more thoroughly and consciously integrating planning for equity and inclusion best practices throughout the document.

Official Map – Since the Plan Commission discussion on November 12th, the Town of Washington has requested the process slow down, certain elements be examined further, and that City Staff present at Town Plan Commission and/or Board meetings prior to preparation of final proposal. Staff is scheduled to appear at the Town Plan Commission meeting on December 11, and potentially at the Town Board meeting on December 18th.

Comprehensive Plan – Staff is exploring acquiring between two and four books to utilize as reading groups to contribute to stakeholder engagement processes.

Housing Task Force – Working with Prof. Kurt Paulsen, UW-Madison, to arrange a presentation/discussion at the next task force meeting. No dates to announce at this point.

Energy & Climate Resolution – No update at this time.

Wine Bar – SIP was approved in April 2019. Staff has been meeting with the ownership group to finalize development agreement and related elements. Groundbreaking is planned as soon as spring conditions allow.

2020 Work Plan – Staff submitted a proposed work plan that focuses on completion of the Comprehensive Plan.

(VI)(4) Supplemental Materials (Discussion-No Action)

City Planner Clements explained mentioned that Plan Commission Members were given copies of the October and December 2019 issues of The Commissioner, a bi-monthly periodical prepared by the American Planning Association with the focus audience of plan commissioners.

Clements said earlier this year, the American Planning Association released the “**Planning for Equity Policy Guide**” that identifies policy recommendations for planners to advocate for policies that support equity in all aspects of planning. It is a heavy document with approximately 20 pages of reading and provides an excellent primer on how to advance social and economic equity in all aspects of this work. Equity has been among the highest focuses of energy and resources with the APA for the past several years.

(VII) Miscellaneous Business and Communications.

(VIII) Adjournment.

Motion by Oas-Holmes/Schlafer to adjourn at 6:03 p.m. **Motion carried.**

Minutes transcribed by Cindy Bauer, Altoona City Clerk

THE CITY of *Altoona*

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 1 – Public Hearing at 5:30 pm or as soon thereafter is possible regarding a Preliminary Plat for Prairie View Ridge development as submitted by CE Lighthouse Properties LLC

See Enclosed:

- Preliminary Plat “Prairie View Ridge”
- Zoning Illustration
- Altoona Street Naming Convention
- Draft Official Map Amendment (2019-0905 WCWRPC)

The enclosed Preliminary Plat represents the preliminary drawing of the land division instrument to arrange parcels and dedicate public right-of-way associated with “Prairie View Ridge” located east of the Windsor Forest neighborhood.

The proposed Plat is consistent with the conceptual arrangement included with the Rezoning for the affected parcels as approved by the Council on December 19th.

Notable elements to be discussed and finalized between Staff and the petitioner prior to formulation of the Final Plat include:

- Adequate spacing for the planned multi-use trail parallel to Baumach Way and parallel to the proposed “Harley Street”;
- The meeting of the existing Baumbach Way ROW, 75’ in width, with the proposed width of 66’ as shown in the preliminary plat;
- The proposed reduction in ROW width of low volume roadways from 66’ to 60’;
- Parkland Dedication (dedication, fee in lieu, or combination thereof);
- Proposed civil design specifications (road cross-sections; utilities; stormwater; trails and sidewalks);
- Street names;

City Staff is awaiting the results of a Traffic Impact Analysis (TIA) to determine and evaluate proposed facilities.

Specific item for discussion at this time are the road names. Four new roadways are proposed, and one continued (Baumbach Way). The proposed names are illustrated on the preliminary plat, and are as follows:

Road 1 = Kyler Street

Road 2 = Cole Drive

Road 3 = Keanan Lane

Road C & E = Harley Street

The City Council, by recommendation of the Plan Commission, has final authority regarding name assignment to proposed public streets. Roads 1, 2 and 3 are between 1 and 2 blocks long. "Harley Street" will be a major road in this subarea and to future adjacent neighborhoods (see draft Official Map, enclosed). For that reason, great thought and consideration should be dedicated to the name of this facility.

"Harley Street" will be a significant area corridor:

- The only direct and contiguous north-south connection of Highway 12 and Prill Road west of County Road AA (Mayer Road);
- Extend north of Highway 12 at some point in the future;
- Extend south of Prill Road at some point in the future;
- Expected minor arterial designation for the neighborhood exceeding 425 acres;
- Over 1-mile in length (for comparison purposes, 10th Street W. and 3rd Street E area each approx. 0.8 miles);

Commencement of development activities requires approval of a Development Agreement, Final Plat, and Site Plan (for commercial and multi-family uses).

Suggested Motion: I move to close the public hearing.

ITEM 2 – Discuss/consider recommendation to Council regarding the Preliminary Plat for Prairie View Ridge development as submitted by CE Lighthouse Properties LLC.

See ITEM 1 for materials.

Suggested Motion: I move to recommend / not recommend the City Council approve the Preliminary Plat.

ITEM 3 - Discuss/consider recommendation to Council regarding a Certified Survey Map (CSM) to subdivide parcels #201103602000 and #201103601000 and dedicate public right-of-way located at 127 Highway 12 as requested by Jerome Lanners DBA Finland Holdings LLC (Public Hearing at the January 23 Council Meeting).

See Enclosed: Proposed CSM

The proposed CSM subdivides Lot 10 of River Prairie, located between Cowboy Jacks and the Prairie Event Center into two parcels, 0.30 acre Lot 1 and 0.49 acre Lot 2. Lot 1 is the existing parking lot that is to remain in ownership by the City of Altoona. Lot 2 is to be created to facilitate sale and development consistent with the approved Specific Implementation Plan for the “Wine Bar”.

Suggested motion: I move to recommend / not recommend to City Council approval of the CSM.

ITEM 4 - Discuss/consider recommendation to Council regarding a Certified Survey Map (CSM) to subdivide parcel #201100201270 in River Prairie into two parcels as initiated by the City of Altoona (Public Hearing at the January 23 Council Meeting).

See Enclosed: Proposed CSM

The proposed CSM subdivides a 1.120 acre parcel (Lot 3 of CSM 3356) owned by the City of Altoona into two parcels to facilitate private development. Lot 1, 0.37 acres, will be sold via existing agreement with Chippewa Valley Holdings LLC (CVH) for the Eau Claire Realty Multi-tenant commercial building. Lot 2, 0.75 acres, will contain the existing City-owned parking lot. The Specific Implementation Plan for this project was approved by the City Council on December 19, 2019.

Lot 1 includes a 20’ public utility easement along the south boundary to accommodate existing utilities. The lot also includes an easement in the NE corner to accommodate a stormwater pipe.

Suggested motion: I move to recommend / not recommend to City Council approval of the CSM.

ITEM 5 – Discuss/consider recommendation to Council regarding a Specific Implementation Plan for Higgins Travel in the Northwest Quadrant of River Prairie.

See Enclosed:

- Staff Report 20-01A (2020-0115)
- Proposed Higgins Travel Specific Implementation Plan

The Specific Implementation Plan (SIP) illustrates the architecture and site design elements for a 6,000 sf² one-story multi-tenant building. The site is located south of the Prairie Event Center and west of CrossFit, adjacent to the existing City-owned parking lot. The proposed development area is 0.214 acres (9,328 sf²) and is a prepared “pad ready” site. Vehicle parking will be accommodated by the existing City parking lot and street parking, with access utilizing existing driveways. Two additional automobile parking stalls located parallel to the existing ingress/egress lane are proposed.

See enclosed Staff Report for further description and analysis.

Staff recommends that the Plan Commission **not** recommend approval of the Specific Implementation Plan as failing to be consistent with the River Prairie Design Guidelines and Standards with the following specified findings, and proposed conditions and remedies (most specific deviation(s) in red):

A. Access, Circulation & Parking (RPDG IX. 1)

1. Connect the walkway along the south side of the building to the existing public sidewalk on either end.

2. Add not less than two bicycle racks at an appropriate location near the public entrances. Bicycle racks shall be “U Stand” or “Rounded A” design, or substantially similar, as described in *Altoona Municipal Code* Chapter 19.52, installed per manufacturer specifications.

B. Landscaping [RPDG IX 6]

1. Bio-infiltration devices and water quality swales shall be attractively landscaped with horticulturally appropriate rain garden plantings and small trees, and shall not be predominately turf grasses.
2. A final landscape plan illustrating placement and species of plantings shall be provided and approved prior installation.

C. Building and Architectural Standards [RPDG IX 7]

1. **Façade design fails to meet River Prairie Design Guidelines and Standards. Architecture must be revised and re-considered for approval (7.3 (C) Variation in Massing; 7.3 (D) 6 (b) Character and Image).**
2. All building and site signs shall require sign permits and meet design requirements outlined in the River Prairie Design Guidelines, IX 5. Insufficient information provided in the SIP submittals (dimensions, total area calculations, design, lighting, etc.) for sign review and approval.
3. All exterior lighting on the site shall be of full cut-off design and be shielded to prevent spillover of direct light onto adjacent properties [*Altoona Municipal Code* 19.59.030 (H)].
4. Any/all mechanical equipment, including roof-mounted units, shall be appropriately screened by building-compatible materials or landscaping [RPDG, IX 7 H].

D. Utilities

1. If the building features a sprinkler system, the Fire Department Connection (FDC) shall be 4” STORTZ and shall be located on the street-facing or parking lot facing façade of the building. Final placement shall be reviewed and approved by Altoona Fire Department.
2. Private utilities, including electric transformers, shall be located such as to minimize impact on landscaping. Private electric service shall be located on private property under softscape, avoiding impacts on trees and major landscape elements. City of Altoona reserves the right to review and approve location of electrical transformers and other visible fixtures.
3. Submittal and successful review of final *storm water plan* and *civil site plan* by City Engineer as described in the *Altoona Municipal Code* Chapter 14.
4. The existing area drain in the north corner of the site, and contributing pipes, shall be reserved via public easement.

E. Operational

1. The petitioner shall enter into an agreement regarding utilization of existing City refuse enclosure if shared use is anticipated.
2. The petitioner / operator(s) shall attempt to coordinate deliveries (if any) to take place during off-peak hours to minimize conflicts with pedestrian and automobile circulation along adjoining walkways and within the public parking lot. [RPDG, IX 7.1 I].

Suggested motion: I move to recommend / not recommend approval of the Specific Implementation Plan for Higgins Travel with staff recommended conditions.

ITEM 6 – Discuss/consider Site Plan for Parcel 201105302000 located on Otter Road for “Otter Road Storage” as submitted by Jason Gripentrog.

See Enclosed:

- Staff Report 20-01B (2020-0110)
- Proposed Site Plan “Otter Road Storage”

The enclosed Site Plan illustrates a 5,120 sf² storage/warehouse building on a 1.25-acre parcel in the I Industrial District. Staff has determined that the proposal meets Altoona Municipal Code and recommends approval with the following conditions:

1. Add native canopy boulevard trees in the boulevard area along the entire frontage, 30-foot average spacing, consistent with Ch. 19.54. Minimum species diversity: To prevent uniform insect or disease susceptibility and eventual uniform senescence on a development site or in the adjacent area, the maximum percentage of any one tree species on the site shall be 33% (not including screening trees). All species shall be native or native hybrid as recommended by the WI Department of Natural Resources. Maple species are discouraged as a predominate selection due to relative abundance in the region.
2. Location of storm water infiltration facility within the public right-of-way shall require entering into an agreement wherein if sidewalk or other public improvement were to ever be constructed, the full cost to relocate/redesign the drainage facility would be the responsibility of the property owner.
3. Permits shall be acquired for the corresponding retaining walls (Ch. 15.14), and slope stability measures shall be implemented consistent with Ch. 19.15.110.

Suggested Motion: I move to approve / not approve the Site Plan with staff recommended modifications.

ITEM 7 – Discuss/consider development of property within the Extraterritorial Jurisdiction.

See Enclosed:

- Staff Report 20-01C “Future Development Area – Planert”

As you know, the City of Altoona exercises its Extraterritorial Jurisdiction (ETJ) powers provided by WI Statutes pertaining to land division in order to, among other goals, guide and control orderly and efficient development land and provision of infrastructure. The ETJ extends 1.5 miles from the City’s corporate boundary. The principal provision is that no new parcels less than 10 acres may be created.

One of the purposes of exercising this power is to prevent low-density unsewered subdivisions in the City’s future growth and development areas. These developments effectively create a barrier constraining City growth, preventing adjacent and contiguous development at densities appropriate and efficient for the provision of municipal utilities and public services. These developments can “wall off” a city from growing in certain directions, and potentially become reasonably land-locked.

City staff have recently been engaged with a property owner and a potential developer of 30.39-acre area located near but not adjacent to the City’s boundary, north of the Altoona Elementary School on County Highway SS.

The property is further illustrated and described in the enclosed Staff Report.

There are constraints to serving this area with municipal utilities and additional variables to consider, including if the City should grow north of the railroad, and what the reasonably anticipated capacity for future development in that vicinity. This is a strategic consideration that warrants discussion and direction by the Plan Commission and City Council.

Suggested Motion:

ITEM 8 – Discuss / consider recommendation to Council regarding Resolution 1B-20 confirming parkland dedication fees for 2020.

See Enclosed:

- Staff Report 20-01D “Parkland Dedication”
- Proposed Resolution 1B-20

Providing adequate parkland is widely accepted as a fundamental function of government throughout the U.S. One method of ensuring provision of adequate and desirable public lands is to require dedication of land or impact fees to support acquisition of property. This tactic is practiced by many communities throughout Wisconsin, and is specifically enabled through several provisions within Wisconsin Statutes.

As further summarized in the enclosed Staff Report 20-01D, Altoona has required parkland dedication since at least 1981. The most recent revision to that area of municipal code was 2002 (Ord 4A-02), wherein, among other things, a procedure and formula was established to annually adjust fees in lieu of land dedication. This procedure stipulates that the City Council annually consider a Resolution where those fees would be illustrated.

The enclosed proposed Resolution 1B-20 refers to existing municipal code and State Statute to enumerate the parkland dedication fees for 2020. The resolution does not change any existing ordinance, code or policy. Despite the Council having not considered a similar resolution in many years, the parkland dedication requirements have been enforced.

The Parks Board will discuss this Resolution at their meeting scheduled for January 20th at 6:00pm.

Staff recommends approving the Resolution confirming the parkland dedication fees for 2020. Staff recommends examining the sufficiency of the dedication provision and existing fee levels in the code in relationship to achieving the parkland service levels outlined in the Comprehensive Plan and Parks Plan (once adopted).

Suggested Motion: I move to recommend/not recommend approval of Resolution 1B-20 confirming parkland dedication fees.

(VII) MISCELLANEOUS BUSINESS AND COMMUNICATIONS

(VII) ITEM 1 – Staff Updates (Discussion – No Action)

Parks Plan – Staff time has been dedicated to current planning (permitting and process) and future development area planning. No Updates. Remains top priority project.

Official Map – Comments have been transmitted to WCWRPC for updating the current draft. Considering scheduling an open house in early February for land owners in the area.

Comprehensive Plan – The Annual City Newsletter is currently under development, and long-range planning and comprehensive plan is among the central themes. Staff is planning a short introductory article to kick-off the process, as well as include a Phase I survey instrument. Staff is still exploring acquiring between two and four books to utilize as reading groups to contribute to stakeholder engagement processes.

Housing Task Force – Working with Prof. Kurt Paulsen, UW-Madison, to arrange a presentation/discussion at the next task force meeting. Dates are being discussed for the week of March 16-20.

Transit Development Plan – As of the Transit Commission meeting on January 15, no updates. The consultant is compiling public input and survey data.

Energy & Climate Resolution – No update at this time.

(VII) ITEM 2 – Supplemental Materials (Discussion-No Action)

The American Planning Association (APA) is the primary professional organization comprised of professional community planners. The American Institute of Certified Planners (AICP) is a certification program to serve as one method of verification of a planners' qualifications and commitment to continuing education. Professionals must pass an examination and complete certification maintenance credits on a two-year cycle.

The AICP *Code of Ethics and Professional Conduct* that illustrates the pledge and commitment to uphold high standards of practice, ethics and professional conduct. The code is a guide to the ethical conduct *required* of AICP certified planners. This code was most recently amended in 2016.

Code of Ethics and Professional Conduct:

<https://www.planning.org/media/document/9121296/>

APA Ethics in Planning:

<https://www.planning.org/ethics/>

The Code also serves as a professional aspirational ethic to guide and remind of the role of community planning in advancing community ideals. Ethical considerations underpin many recommendations provided by staff.

This discussion is enclosed to elevate awareness of the Code to Commissioners, as citizen-planners who render recommendations and decisions that influence the lives of all our citizens.

(VII) ITEM 3 – Staff Service (Discussion-No Action)

The following is provided for your information and disclosure.

As many of you are aware, as of January 1, 2020 City Planner Josh Clements began service as the President of the Wisconsin Chapter of the American Planning Association. Josh was elected to this role in 2017, and has served as President-Elect for calendar years 2018 and 2019. This two-year term as President will be followed by an additional two years as Past President to ensure continuity. APA-WI is a Chapter of the national APA, and has approximately 600 members. APA-WI is an independently chartered 501©3 organization.

In this role, Josh will continue to serve as one of 16 volunteer board members that provide coordinate professional development, networking, and advocacy activities on behalf of its members. The Chapter receives some support and coordination from APA national in this mission.

The duties include, but not limited to:

- Quarterly face-to-face Board Meetings
- Conference Calls as needed
- Service on Board Committees
- Seat on the Chapter President's Council of APA, one of the governing components of the association
- Corporate officer for the association

In a related note, the 2nd Annual "Planners Advocacy Day" in Madison organized by APA-WI is March 10. Organized by the APA-WI VP. for Chapter Affairs with support from the WI League of Municipalities, this event provides a structured opportunity for planners and others to receive structured presentations on current issues being debated in the State Government, APA-WI legislative priorities, and meet with their elected officials and/or staff to discuss.

<https://wisconsin.planning.org/>

THE CITY of *Altoona*

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 1 – Public Hearing at 5:30 pm or as soon thereafter is possible regarding a Preliminary Plat for Prairie View Ridge development as submitted by CE Lighthouse Properties LLC

See Enclosed:

- Preliminary Plat “Prairie View Ridge”
- Zoning Illustration
- Altoona Street Naming Convention
- Draft Official Map Amendment (2019-0905 WCWRPC)

The enclosed Preliminary Plat represents the preliminary drawing of the land division instrument to arrange parcels and dedicate public right-of-way associated with “Prairie View Ridge” located east of the Windsor Forest neighborhood.

The proposed Plat is consistent with the conceptual arrangement included with the Rezoning for the affected parcels as approved by the Council on December 19th.

Notable elements to be discussed and finalized between Staff and the petitioner prior to formulation of the Final Plat include:

- Adequate spacing for the planned multi-use trail parallel to Baumach Way and parallel to the proposed “Harley Street”;
- The meeting of the existing Baumbach Way ROW, 75’ in width, with the proposed width of 66’ as shown in the preliminary plat;
- The proposed reduction in ROW width of low volume roadways from 66’ to 60’;
- Parkland Dedication (dedication, fee in lieu, or combination thereof);
- Proposed civil design specifications (road cross-sections; utilities; stormwater; trails and sidewalks);
- Street names;

City Staff is awaiting the results of a Traffic Impact Analysis (TIA) to determine and evaluate proposed facilities.

Specific item for discussion at this time are the road names. Four new roadways are proposed, and one continued (Baumbach Way). The proposed names are illustrated on the preliminary plat, and are as follows:

Road 1 = Kyler Street

Road 2 = Cole Drive

Road 3 = Keanan Lane

Road C & E = Harley Street

The City Council, by recommendation of the Plan Commission, has final authority regarding name assignment to proposed public streets. Roads 1, 2 and 3 are between 1 and 2 blocks long. “Harley Street” will be a major road in this subarea and to future adjacent neighborhoods (see draft Official Map, enclosed). For that reason, great thought and consideration should be dedicated to the name of this facility.

“Harley Street” will be a significant area corridor:

- The only direct and contiguous north-south connection of Highway 12 and Prill Road west of County Road AA (Mayer Road);
- Extend north of Highway 12 at some point in the future;
- Extend south of Prill Road at some point in the future;
- Expected minor arterial designation for the neighborhood exceeding 425 acres;
- Over 1-mile in length (for comparison purposes, 10th Street W. and 3rd Street E area each approx. 0.8 miles);

Commencement of development activities requires approval of a Development Agreement, Final Plat, and Site Plan (for commercial and multi-family uses).

Suggested Motion: I move to close the public hearing.

ITEM 2 – Discuss/consider recommendation to Council regarding the Preliminary Plat for Prairie View Ridge development as submitted by CE Lighthouse Properties LLC.

See ITEM 1 for materials.

Suggested Motion: I move to recommend / not recommend the City Council approve the Preliminary Plat.

THE CITY of *Altoona*

NOTICE OF HEARING

**City of Altoona
Preliminary Plat**

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Altoona Plan Commission on **Tuesday, January 21, 2020 at 5:30 p.m.** (or as soon thereafter as is practical) in the Council Chambers of Altoona City Hall, 1303 Lynn Avenue regarding a proposed Preliminary Plat as submitted by Mark Erickson on behalf of C&E Lighthouse Development for parcels 201103703000 and 201103704000 located at 6007 US Highway 12, east of the Windsor Forest neighborhood.

A copy of the proposed Plat is available upon request from the City Clerk's Office, City Hall, 1303 Lynn Avenue, Altoona. Public input regarding the proposed Plat is invited.

All interested parties and their representatives are invited to attend. If unable to attend, submit your comment in writing to City Hall, 1303 Lynn Avenue, Altoona, WI 54720 prior to the date of the Public Hearing.

The Altoona Common Council will be making a recommendation at its January 23, 2020 Meeting starting at 6:00 p.m.

Dated this 3rd day of January 2020.

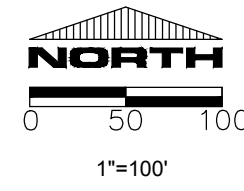


Cindy Bauer
City Clerk

Published: Tuesday, January 7 and Monday, January 13, 2020.

PRELIMINARY PLAT OF PRAIRIE VIEW RIDGE

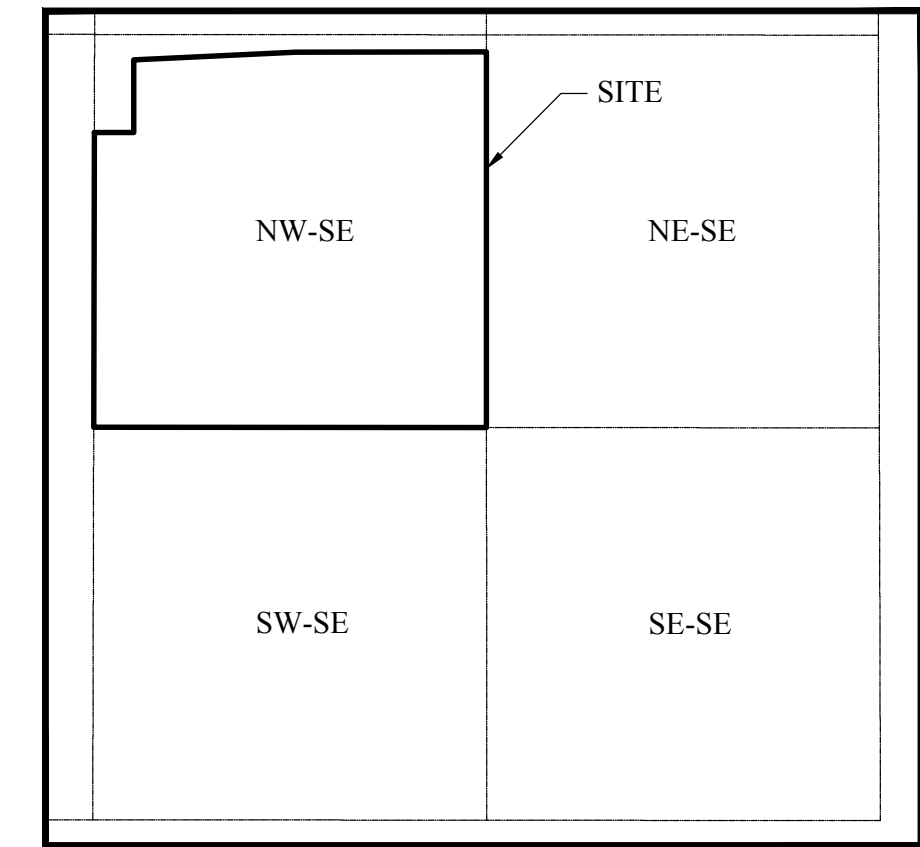
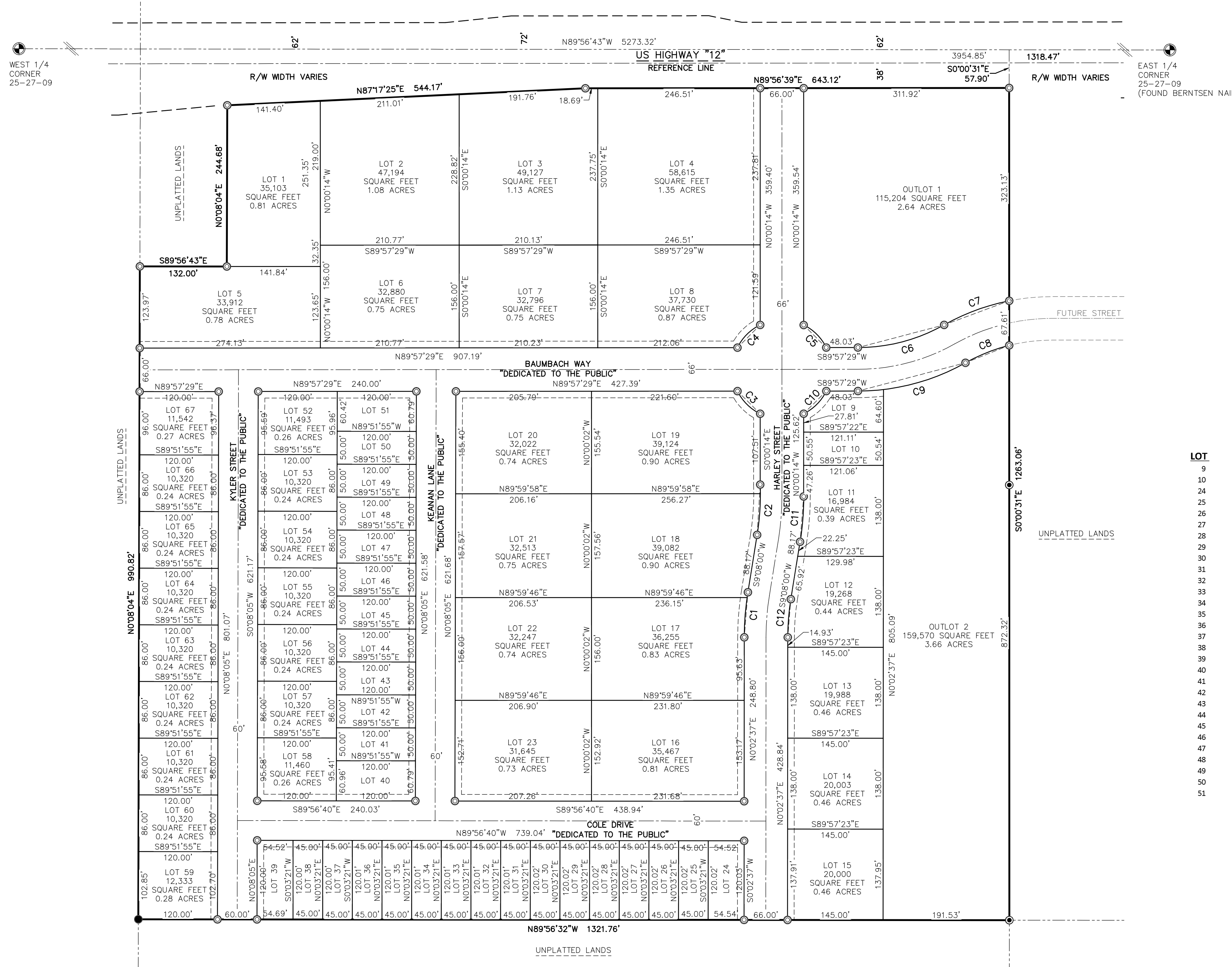
Part of the Northwest Quarter of the Southeast Quarter, Section 25, Township
27 North, Range 9 West, City of Altoona, Eau Claire County, Wisconsin.



BEARINGS ARE REFERENCED TO THE
EAST-WEST QUARTER LINE OF SECTION
25 ASSUMED TO BEAR N89°56'43"W.

LEGEND

- FOUND HARRISON MONUMENT (UNLESS NOTED)
- FOUND 1" OUTSIDE DIAMETER IRON PIPE
- SET 1 1/4" X 18" IRON BAR, 4.30 POUNDS / LINEAR FOOT
- FOUND 2 1/2" OUTSIDE DIAMETER IRON PIPE
- SET 1" OUTSIDE DIAMETER BY 18" IRON PIPE, 1.13 POUNDS / LINEAR FOOT
- 10 FOOT UTILITY EASEMENT



LOT AREAS

LOT	SQUARE FEET	ACRES
9	6,848	0.16
10	6,121	0.14
24	6,545	0.15
25	5,401	0.12
26	5,401	0.12
27	5,401	0.12
28	5,401	0.12
29	5,401	0.12
30	5,401	0.12
31	5,401	0.12
32	5,401	0.12
33	5,401	0.12
34	5,400	0.12
35	5,400	0.12
36	5,400	0.12
37	5,400	0.12
38	5,400	0.12
39	6,552	0.15
40	7,305	0.17
41	6,000	0.14
42	6,000	0.14
43	6,000	0.14
44	6,000	0.14
45	6,000	0.14
46	6,000	0.14
47	6,000	0.14
48	6,000	0.14
49	6,000	0.14
50	6,000	0.14
51	7,272	0.17

CURVE TABLE

CURVE	RADIUS	CHORD BEARING	CHORD	ARC	DELTA	TANGENT IN	TANGENT OUT
C1	433.00'	S04°35'18"W	68.62'	68.69'	9°05'23"	S09°08'00"W	S00°02'37"W
LOT 17	433.00'	N04°03'03"E	60.52'	60.56'	8°00'52"		
LOT 18	433.00'	N08°35'44"E	8.13'	8.13'	1°04'31"		
C2	393.63'	N03°29'17"E	76.46'	76.58'	11°08'48"	N09°03'41"E	N02°05'08"W
LOT 18	393.63'	N04°29'48"E	62.65'	62.72'	9°07'45"		
LOT 19	393.63'	N01°04'36"W	13.86'	13.86'	2°01'03"		
C3	75.00'	N45°03'25"W	48.61'	49.51'	37°49'19"	N63°58'04"W	N26°08'45"W
C4	75.00'	N45°00'39"E	48.71'	49.61'	37°53'53"	N26°03'43"E	N63°57'36"E
C5	75.00'	S44°59'21"E	48.45'	49.33'	37°41'11"	S63°49'56"E	S26°08'45"E
C6	267.00'	S75°16'36"W	135.34'	136.83'	29°21'46"	S60°35'42"W	S89°57'29"W
C7	333.00'	S69°41'37"W	105.32'	105.76'	18°11'50"	S78°47'33"W	S60°35'42"W
C8	267.00'	S68°17'03"W	71.45'	71.66'	15°22'42"	S75°58'24"W	S60°35'42"W
C9	333.00'	S75°16'36"W	168.79'	170.66'	29°21'46"	S60°35'42"W	S89°57'29"W
OUTLOT 2	333.00'	S71°55'39"W	130.87'	131.73'	22°39'53"		
LOT 9	333.00'	S86°36'32"W	38.91'	38.93'	6°41'53"		
C10	75.00'	S44°56'35"W	48.54'	49.43'	37°45'45"	S26°03'43"W	S63°49'28"W
C11	433.00'	N04°33'53"E	68.98'	69.05'	9°08'14"	N09°08'00"E	N00°00'14"W
C12	367.00'	S04°35'18"W	58.16'	58.22'	9°05'23"	S09°08'00"W	S00°02'37"W

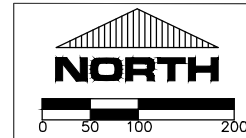
Owners:
CE Lighthouse Properties, LLC
1750 Hallie Road
Chippewa Falls, WI 54729

Surveyor:
Jeffrey C. Stockburger, PLS #2708
1818 Brackett Ave.
Eau Claire, WI 54701

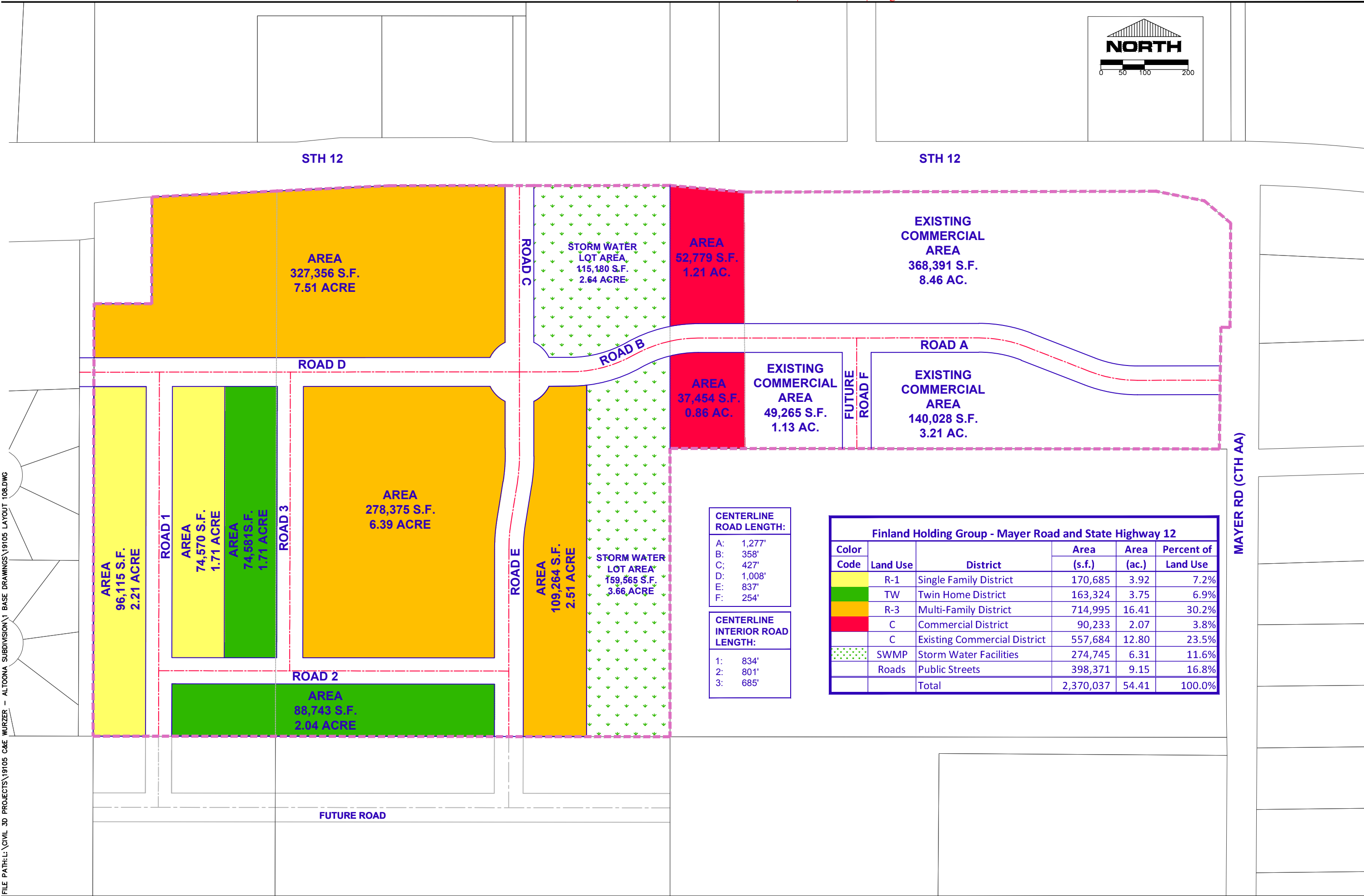
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EAU CLAIRE, WI 54701
PH: (715) 831-0654 • EMAIL: INFO@KLDLS.NET





FILE PATH: L:\CIVIL 3D PROJECTS\19105 C&E WURZER - ALTOONA SUBDIVISION\19105 BASE DRAWINGS\19105 LAYOUT 108.DWG



CENTERLINE ROAD LENGTH:

A:	1,277'
B:	358'
C:	427'
D:	1,008'
E:	837'
F:	254'

CENTERLINE INTERIOR ROAD LENGTH:

1:	834'
2:	801'
3:	685'

Finland Holding Group - Mayer Road and State Highway 12

Color Code	Land Use	District	Area (s.f.)	Area (ac.)	Percent of Land Use
Yellow	R-1	Single Family District	170,685	3.92	7.2%
Green	TW	Twin Home District	163,324	3.75	6.9%
Orange	R-3	Multi-Family District	714,995	16.41	30.2%
Red	C	Commercial District	90,233	2.07	3.8%
White	C	Existing Commercial District	557,684	12.80	23.5%
Green with dots	SWMP	Storm Water Facilities	274,745	6.31	11.6%
White with dots	Roads	Public Streets	398,371	9.15	16.8%
	Total		2,370,037	54.41	100.0%

EVERYDAY SURVEYING & ENGINEERING

1818 BRACKETT AVENUE • EAU CLAIRE, WI 54701
 PH: (715) 821-0654 • EMAIL: INFO@ESEC.O

JOB NO:	19105
DWG NAME:	LAYOUT 108
DATE:	10-28-19
APPV:	XX-XX-XX

FINLAND HOLDING GROUP
LAND USE EXHIBIT MAP
 CITY OF ALTOONA, EAU CLAIRE COUNTY, WI

SHEET NO:
EX200

PLANNING DEPARTMENT

Street Naming Convention

2020 January 8

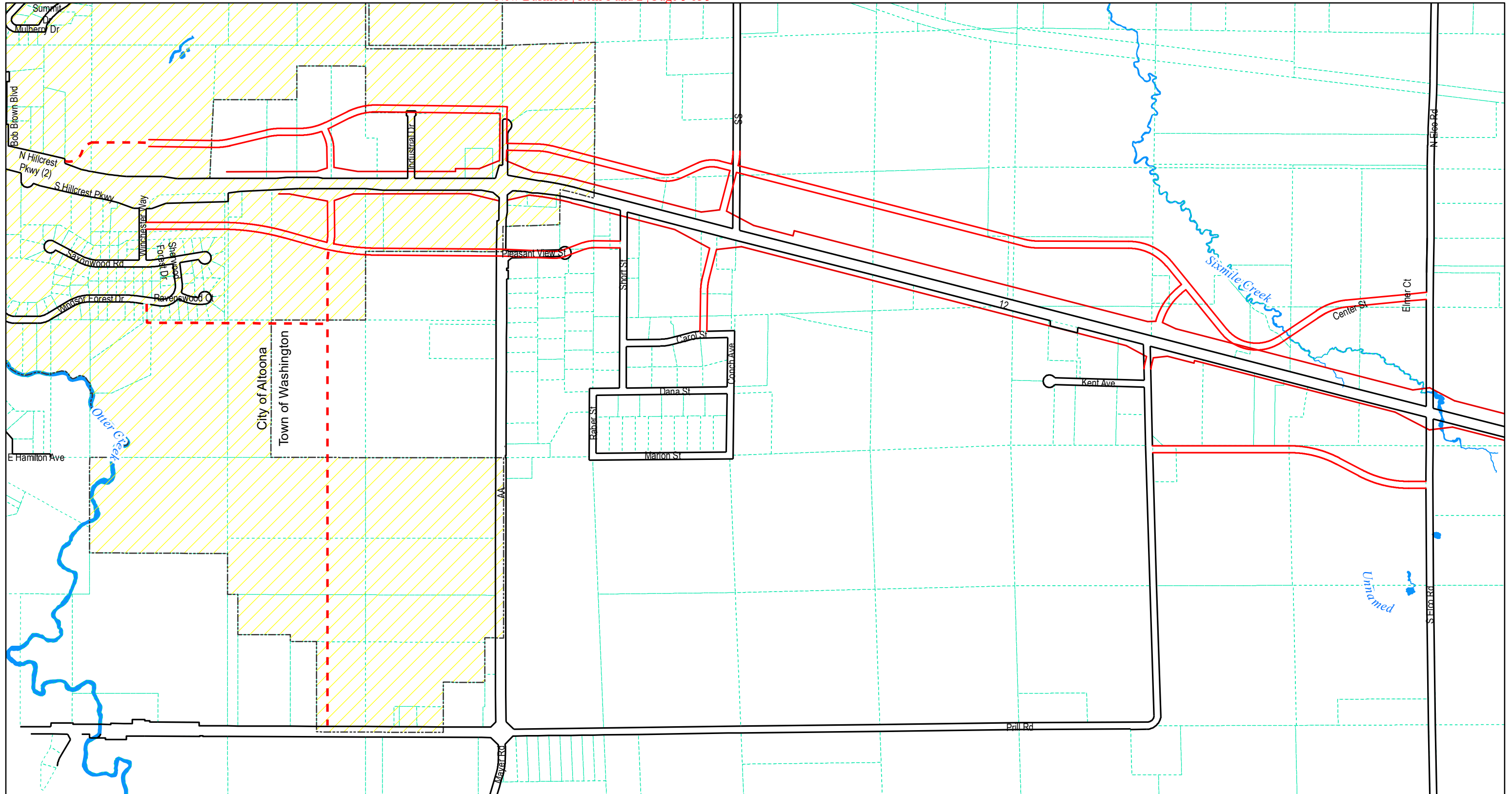
The following is a portion of Altoona Municipal Code, Title 18 “Subdivisions and Land Divisions” pertaining to street naming.

18.07.180 General Street Design Standards.






(...)

u. Street Names

1. Duplication of existing street names by similar word, spelling, or sound shall not be permitted.
2. Where a street maintains the same general direction except for curvilinear changes for short distances, the same name shall continue for the entire length of the street. House numbering difficulties shall be considered the determining factor in considering whether a change of name is necessary due to curvilinear changes.
3. A street name shall be changed when required to conform to the proposed or existing house numbering base.
4. A name which is assigned to a street which is not presently a through street, due to intervening land over which the street extension is planned, shall be continued for the separate portions of the planned through street.
5. The following designations shall be used only in the situations indicated:
 - a. Boulevard. A street with a divided pavement, either existing or planned. If the divided pavement ends but the street continues, the same street name and suffix shall continue.
 - b. Lane. To be limited to a street, one (1) block long, not ending in a cul-de-sac.
 - c. Circle. To be limited to a cul-de-sac of nine (9) lots or more.
 - d. Court. To be limited to a cul-de-sac of eight (8) lots or less.
 - e. Parkway. To be limited to a street abutting a park or greenway or creek.
6. The maximum number of street names at one (1) intersection shall be three (3).
7. Street names shall be assigned to avoid intersections which have the same exact street names.
8. The name of any projection of a street shall remain unchanged even if the projection terminates in a cul-de-sac.
9. The changing of a street name that does not duplicate an existing street name shall only be approved where such change will eliminate conflicts with other provisions of this Subsection.
10. Service roads and highways served by them shall have the same street name and designation.
11. Approval of street names on a preliminary plat will not reserve the names nor shall the City be required to accept such names at the time of final platting.
12. A minimum number of letters is desirable in a street name. The maximum number of letters, not including the prefix or suffix, should not exceed twelve (12).

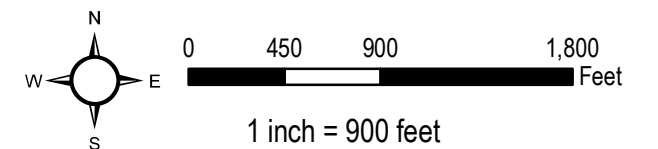


Legend

-  Planned Right of Way
-  Existing Right of Way
-  Proposed Future Road
-  City of Altoona
-  Parcel

PLANNING DRAFT City of Altoona Official Map

Updated 09/05/2019



Data Sources: Eau Claire County, WisDOT, WI DNR.

THE CITY of *Altoona*

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 3 - Discuss/consider recommendation to Council regarding a Certified Survey Map (CSM) to subdivide parcels #201103602000 and #201103601000 and dedicate public right-of-way located at 127 Highway 12 as requested by Jerome Lanners DBA Finland Holdings LLC (Public Hearing at the January 23 Council Meeting).

See Enclosed: Proposed CSM

The proposed CSM subdivides Lot 10 of River Prairie, located between Cowboy Jacks and the Prairie Event Center into two parcels, 0.30 acre Lot 1 and 0.49 acre Lot 2. Lot 1 is the existing parking lot that is to remain in ownership by the City of Altoona. Lot 2 is to be created to facilitate sale and development consistent with the approved Specific Implementation Plan for the “Wine Bar”.

Suggested motion: I move to recommend / not recommend to City Council approval of the CSM.

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ **PAGE** _____

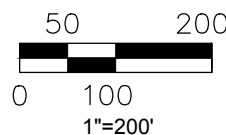
PRELIMINARY

Part of the Northeast Quarter of the Southeast Quarter, Section 25,
 Township 27 North, Range 9 West, City of Altoona, Eau Claire
 County, Wisconsin.

LEGEND

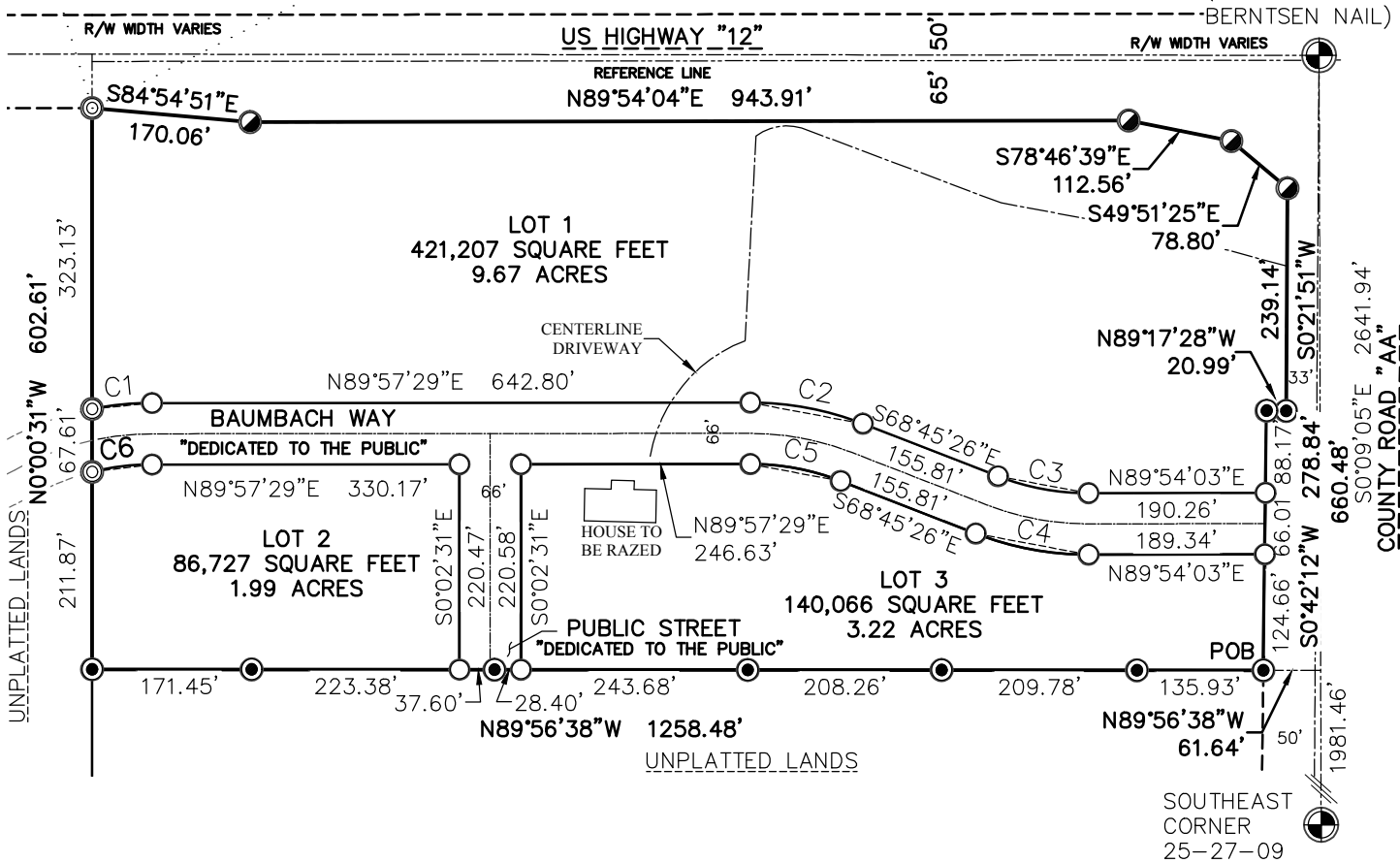
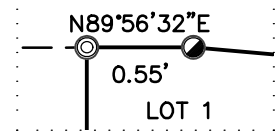
- FOUND ALUMINUM MONUMENT (UNLESS NOTED)
- FOUND 1" OUTSIDE DIAMETER IRON PIPE
- FOUND 3/4" IRON BAR
- SET 1" OUTSIDE DIAMETER BY 18" IRON PIPE,
1.13 POUNDS / LINEAR FOOT
- ◎ SET 1 1/4" X 18" IRON BAR, 4.30 POUNDS / LINEAR FOOT

BEARINGS ARE REFERENCED TO THE EAST
 LINE OF THE SOUTHEAST 1/4 OF SECTION 25,
 WHICH IS ASSUMED TO BEAR S0°09'05"E.



EAST 1/4
 CORNER
 25-27-09
 (FOUND
 BERNTSEN NAIL)

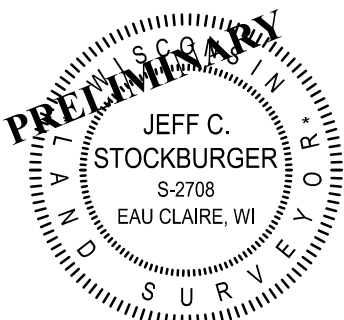
POB POINT OF BEGINNING
 DETAIL NOT TO SCALE



CURVE TABLE

CURVE	RADIUS	CHORD BEARING	CHORD	ARC	DELTA	TANGENT IN	TANGENT OUT
C1	333.00'	N84°22'31"E	64.79'	64.89'	11°09'56"	N78°47'33"E	N89°57'29"E
C2	333.00'	S79°23'59"E	123.00'	123.71'	21°17'05"	N89°57'29"E	S68°45'26"E
C3	267.00'	S79°25'42"E	98.88'	99.45'	21°20'31"	S68°45'26"E	N89°54'03"E
C4	333.00'	S79°25'42"E	123.32'	124.04'	21°20'31"	S68°45'26"E	N89°54'03"E
C5	267.00'	S79°23'59"E	98.62'	99.19'	21°17'05"	N89°57'29"E	S68°45'26"E
C6	267.00'	N82°57'56"E	65.01'	65.17'	13°59'04"	N75°58'24"E	N89°57'29"E

Owner: Finland Holding Group, LLC
 2244 Bradwood Avenue
 Altoona, WI 54720



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 PH: (715) 831-0654 • EMAIL: INFO@KLD5.NET

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ **PAGE** _____

PRELIMINARY

Part of the Northeast Quarter of the Southeast Quarter, Section 25,
Township 27 North, Range 9 West, City of Altoona, Eau Claire
County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, Jeffrey C. Stockburger, Professional Land Surveyor in the State of Wisconsin, do hereby certify that by the order of Kenneth Olson, I have surveyed part of the Northeast Quarter of the Southeast Quarter, Section 25, Township 27 North, Range 9 West, City of Altoona, Eau Claire County, Wisconsin.

The parcel is more particularly described as follows:

Commencing at the East Quarter Corner of said Section 25;
Thence S00°09'05"E, 660.48 feet along the east line of the Southeast Quarter;
Thence N89°56'38"W, 61.64 feet;
Thence N89°56'38"W, 1,258.48 feet;
Thence N00°00'31"W, 602.61 feet to the south right-of-way line of United States Highway "12";
Thence N89°56'39"E, 0.55 feet along said right-of-way line;
Thence S84°54'51"E, 170.06 feet along said right-of-way line;
Thence N89°54'04"E, 943.91 feet along said right-of-way line;
Thence S78°46'39"E, 112.56 feet along said right-of-way line;
Thence S49°51'25"E, 78.80 feet along said right-of-way line to the west right-of-way line of County Road "AA";
Thence S00°21'51"W, 239.14 feet along said right-of-way line;
Thence N89°17'28"W, 20.99 feet along said right-of-way line;
Thence S00°42'12"W, 278.84 feet to the point of beginning.

Said parcel contains 746,811 square feet or 17.14 total acres, more or less.

I also certify that I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, Wisconsin Administrative Code Chapter AE-7, and the City of Altoona Subdivision Ordinance. I further certify to the best of my knowledge and belief that the accompanying map is a true and correct representation of the exterior boundaries of the land surveyed and the division thereof made.

Dated this _____ day of _____, 2020.

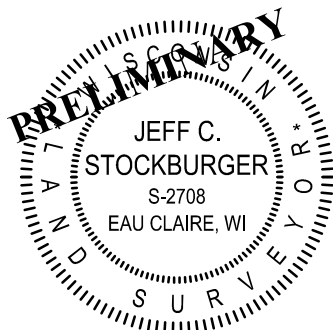
Jeffrey C. Stockburger, Wisconsin Professional Land Surveyor, S-2708
Project Number: 19109

CERTIFICATE OF THE CITY PLAN COMMISSION

THE CITY OF ALTOONA HEREBY CERTIFIES THIS CERTIFIED SURVEY MAP COMPLIES WITH THE CITY OF ALTOONA'S MUNICIPAL CODE SUBDIVISION ORDINANCE AND IS APPROVED BY THE ALTOONA PLAN COMMISSION PURSUANT TO THE SUBDIVISION ORDINANCE.

Approved this _____ day of _____, _____ by the Altoona Common Council

Brendan J Pratt Title



PRELIMINARY

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ **PAGE** _____

Part of the Northeast Quarter of the Southeast Quarter, Section 25,
Township 27 North, Range 9 West, City of Altoona, Eau Claire
County, Wisconsin.

CERTIFICATE OF DEDICATION

Finland Holding Group, LLC, a corporation organized and existing under and by virtue of the laws of the State of Wisconsin, as owners do hereby certify that said company caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the Certified Survey Map. Finland Holding Group, LLC does further certify that this Certified Survey Map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection.

----- City of Altoona

In witness hereof, the said Finland Holding Group, LLC has caused this document to be signed by Jerome Lanners it's member.

On this _____ day of _____, 2020.

Jerome Lanners, Member
Finland Holding Group, LLC

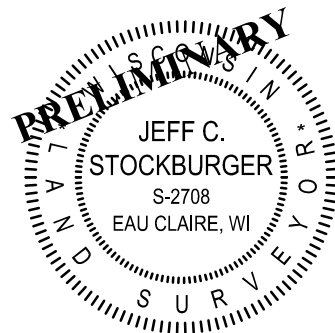
State of Wisconsin

County of _____ ss

Personally came before me, this _____ day of _____, 2019. The above named Damien Judkins to me known to be the same person who executed the foregoing instrument and acknowledged the same.

Notary Public

My commission expires _____.



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PH: (715) 831-0654 • EMAIL: INFO@KLD5.NET

THE CITY *of* **Altoona**

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 4 - Discuss/consider recommendation to Council regarding a Certified Survey Map (CSM) to subdivide parcel #201100201270 in River Prairie into two parcels as initiated by the City of Altoona (Public Hearing at the January 23 Council Meeting).

See Enclosed: Proposed CSM

The proposed CSM subdivides a 1.120 acre parcel (Lot 3 of CSM 3356) owned by the City of Altoona into two parcels to facilitate private development. Lot 1, 0.37 acres, will be sold via existing agreement with Chippewa Valley Holdings LLC (CVH) for the Eau Claire Realty Multi-tenant commercial building. Lot 2, 0.75 acres, will contain the existing City-owned parking lot. The Specific Implementation Plan for this project was approved by the City Council on December 19, 2019.

Lot 1 includes a 20' public utility easement along the south boundary to accommodate existing utilities. The lot also includes an easement in the NE corner to accommodate a stormwater pipe.

Suggested motion: I move to recommend / not recommend to City Council approval of the CSM.

PRELIMINARY

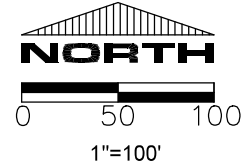
CERTIFIED SURVEY MAP NO. _____
VOLUME _____ **PAGE** _____

Lot 3 of Certified Survey Map Number 3356, recorded in Volume 19 of Certified Survey Maps on Pages 14-15, lying in part of the Northeast Quarter of the Southwest Quarter, and the Northwest Quarter of the Southeast Quarter, Section 15, Township 27 North, Range 9 West, City of Altoona, Eau Claire County, Wisconsin.

LEGEND

- FOUND ALUMINUM MONUMENT
- FOUND 3/4" IRON BAR
- FOUND 1" OUTSIDE DIAMETER IRON PIPE
- SET 1" OUTSIDE DIAMETER BY 18" IRON PIPE, 1.13 POUNDS / LINEAR FOOT

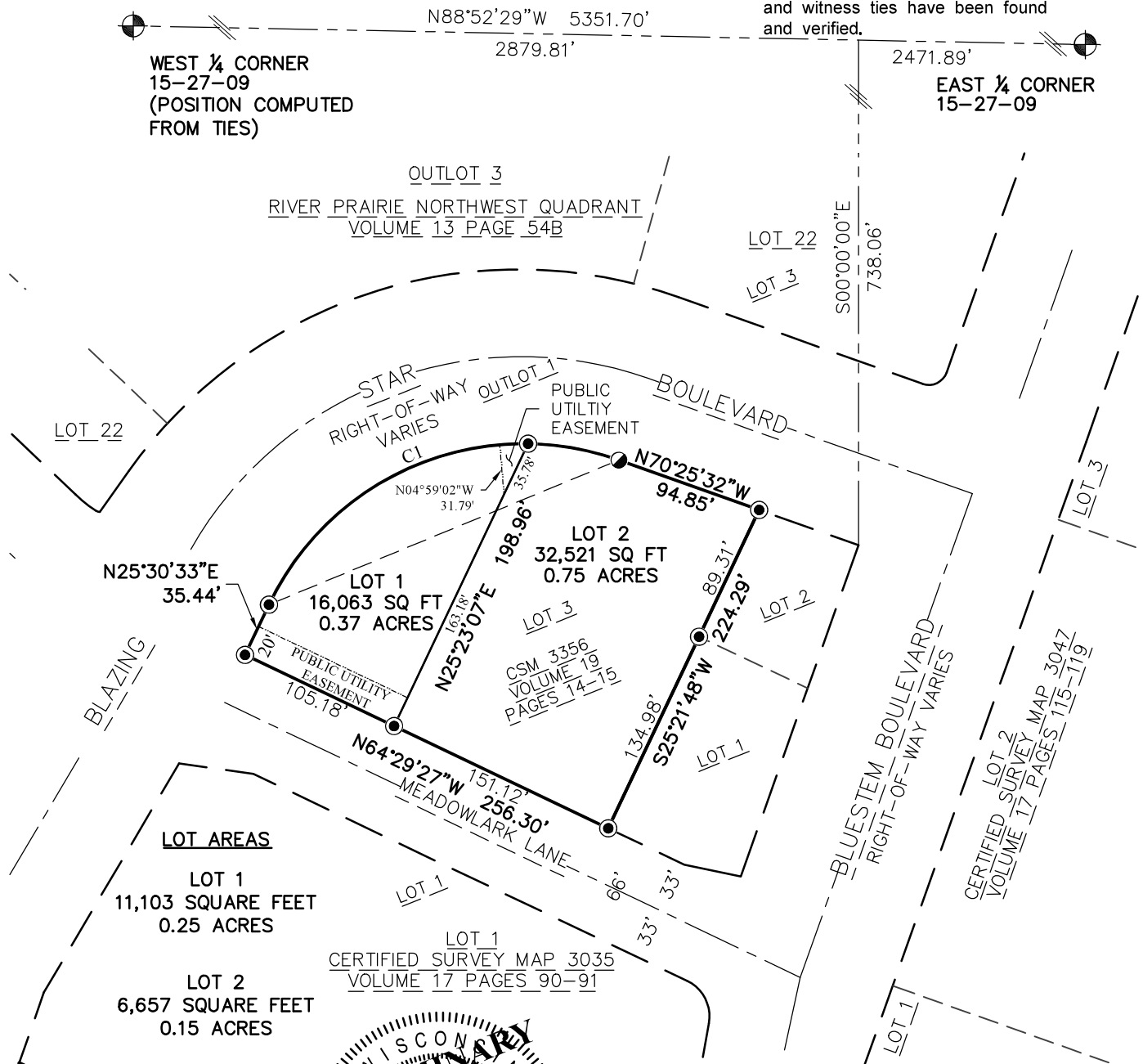
BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 15, WHICH IS ASSUMED TO BEAR N88°52'29"W.



NOTES:

Field work was completed on **1-XX-2020**.

U.S. Public Land Survey Monuments and witness ties have been found and verified.

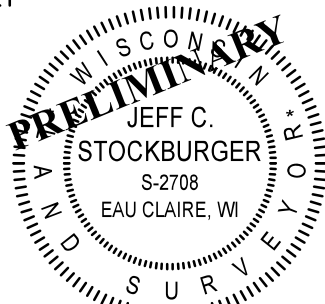


LOT AREAS

LOT 1
 11,103 SQUARE FEET
 0.25 ACRES

LOT 2
 6,657 SQUARE FEET
 0.15 ACRES

LOT 1
 CERTIFIED SURVEY MAP 3035
 VOLUME 17 PAGES 90-91



Owner: City of Altoona
 1303 Lynn Avenue
 Altoona, WI 54720

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PRELIMINARY

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ **PAGE** _____

Lot 3 of Certified Survey Map Number 3356, recorded in Volume 19 of Certified Survey Maps on Pages 14-15, lying in part of the Northeast Quarter of the Southwest Quarter, and the Northwest Quarter of the Southeast Quarter, Section 15, Township 27 North, Range 9 West, City of Altoona, Eau Claire County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, Jeffrey C. Stockburger, Professional Land Surveyor in the State of Wisconsin, do hereby certify that by the order of The City of Altoona, I have surveyed Lot 3 of Certified Survey Map Number 3356, recorded in Volume 19 of Certified Survey Maps on Pages 14-15, lying in part of the Northeast Quarter of the Southwest Quarter, and the Northwest Quarter of the Southeast Quarter, Section 15, Township 27 North, Range 9 West, City of Altoona, Eau Claire County, Wisconsin. The parcel is more particularly described as follows:

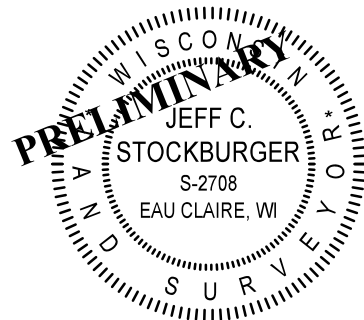
Lot 3 of Certified Survey Map number 3356 recorded in Volume 19 on Pages 14-15.

Said parcel contains 48,584 square feet or 1.12 total acres, more or less.

I also certify that I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, Wisconsin Administrative Code Chapter AE-7, and the City of Altoona Subdivision Ordinance. I further certify to the best of my knowledge and belief that the accompanying map is a true and correct representation of the exterior boundaries of the land surveyed and the division thereof made.

Dated this _____ day of _____, 2020.

 Jeffrey C. Stockburger, Wisconsin Professional Land Surveyor, S-2708
 Project Number: 18001



CURVE TABLE

CURVE	CHORD BEARING	CHORD	RADIUS	ARC	DELTA	TANGENT IN	TANGENT OUT
CI	N67°32'30"E	241.04'	180.00'	264.10'	84°03'55"	N70°25'32"W	S25°30'33"W
LOT 1	N58°09'10"E	194.19'	180.00'	205.11'	65°17'16"		
LOT 2	S79°48'52"E	58.73'	180.00'	58.99'	18°46'39"		

CERTIFICATE OF THE CITY PLAN COMMISSION

THE CITY OF ALTOONA HEREBY CERTIFIES THIS CERTIFIED SURVEY MAP COMPLIES WITH THE CITY OF ALTOONA'S MUNICIPAL CODE SUBDIVISION ORDINANCE AND IS APPROVED BY THE ALTOONA PLAN COMMISSION PURSUANT TO THE SUBDIVISION ORDINANCE.

Approved this _____ day of _____, _____ by the Altoona Common Council

 Brendan J Pratt Title

EVERYDAY SURVEYING & ENGINEERING

1818 BRACKETT AVENUE • EAU CLAIRE, WI 54701
 PH: (715) 831-0654 • EMAIL: INFO@KLD5.NET

THE CITY of *Altoona*

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 5 – Discuss/consider recommendation to Council regarding a Specific Implementation Plan for Higgins Travel in the Northwest Quadrant of River Prairie.

See Enclosed:

- Staff Report 20-01A (2020-0115)
- Proposed Higgins Travel Specific Implementation Plan

The Specific Implementation Plan (SIP) illustrates the architecture and site design elements for a 6,000 sf² one-story multi-tenant building. The site is located south of the Prairie Event Center and west of CrossFit, adjacent to the existing City-owned parking lot. The proposed development area is 0.214 acres (9,328 sf²) and is a prepared “pad ready” site. Vehicle parking will be accommodated by the existing City parking lot and street parking, with access utilizing existing driveways. Two additional automobile parking stalls located parallel to the existing ingress/egress lane are proposed.

See enclosed Staff Report for further description and analysis.

Staff recommends that the Plan Commission **not** recommend approval of the Specific Implementation Plan as failing to be consistent with the River Prairie Design Guidelines and Standards with the following specified findings, and proposed conditions and remedies (most specific deviation(s) in **red**):

A. Access, Circulation & Parking (RPDG IX. 1)

1. Connect the walkway along the south side of the building to the existing public sidewalk on either end.
2. Add not less than two bicycle racks at an appropriate location near the public entrances. Bicycle racks shall be “U Stand” or “Rounded A” design, or substantially similar, as described in *Altoona Municipal Code* Chapter 19.52, installed per manufacturer specifications.

B. Landscaping [RPDG IX 6]

1. Bio-infiltration devices and water quality swales shall be attractively landscaped with horticulturally appropriate rain garden plantings and small trees, and shall not be predominately turf grasses.
2. A final landscape plan illustrating placement and species of plantings shall be provided and approved prior installation.

C. Building and Architectural Standards [RPDG IX 7]

1. **Façade design fails to meet River Prairie Design Guidelines and Standards. Architecture must be revised and re-considered for approval (7.3 (C) *Variation in Massing*; 7.3 (D) 6 (b) *Character and Image*).**
2. All building and site signs shall require sign permits and meet design requirements outlined in the River Prairie Design Guidelines, IX 5. Insufficient information provided in the SIP submittals (dimensions, total area calculations, design, lighting, etc.) for sign review and approval.
3. All exterior lighting on the site shall be of full cut-off design and be shielded to prevent spillover of direct light onto adjacent properties [*Altoona Municipal Code 19.59.030 (H)*].
4. Any/all mechanical equipment, including roof-mounted units, shall be appropriately screened by building-compatible materials or landscaping [RPDG, IX 7 H].

D. Utilities

1. If the building features a sprinkler system, the Fire Department Connection (FDC) shall be 4” STORTZ and shall be located on the street-facing or parking lot facing façade of the building. Final placement shall be reviewed and approved by Altoona Fire Department.
2. Private utilities, including electric transformers, shall be located such as to minimize impact on landscaping. Private electric service shall be located on private property under softscape, avoiding impacts on trees and major landscape elements. City of Altoona reserves the right to review and approve location of electrical transformers and other visible fixtures.
3. Submittal and successful review of final *storm water plan* and *civil site plan* by City Engineer as described in the *Altoona Municipal Code* Chapter 14.
4. The existing area drain in the north corner of the site, and contributing pipes, shall be reserved via public easement.

E. Operational

1. The petitioner shall enter into an agreement regarding utilization of existing City refuse enclosure if shared use is anticipated.
2. The petitioner / operator(s) shall attempt to coordinate deliveries (if any) to take place during off-peak hours to minimize conflicts with pedestrian and automobile circulation along adjoining walkways and within the public parking lot. [RPDG, IX 7.1 I].

Suggested motion: I move to recommend / not recommend approval of the Specific Implementation Plan for Higgins Travel with staff recommended conditions.

PLANNING DEPARTMENT STAFF REPORT

20-01A

SPECIFIC IMPLEMENTATION PLAN – Higgins Travel

2020 January 15

Address TBD
Parcel ID 201-2392-02-000
Application Specific Implementation Plan
Prepared By Joshua Clements, AICP, City Planner

SUMMARY

Applicant Advanced Engineering Concepts
Owner Petricka Properties, LLC
Parcel Description Lot 20 of River Prairie Northwest Quadrant Doc. #1128638 (2017)
Requested Action Approval of Specific Implementation Plan for construction of an approximately **6,000 ft²** multi-tenant commercial retail/office building and associated Site Plan.

Proposal Summary Specific Implementation Plan illustrates architecture and site design elements for a **6,000 sf²** one-story multi-tenant building to be located on Meadowlark Lane between the Prairie Event Center and CrossFit River Prairie. The site is located adjacent to an existing 83-stall City-owned parking lot. The proposed development area is 0.214 acres (**9,328 sf²**) and is a prepared “pad ready” site.

Vehicle parking will be accommodated by the existing City parking lot and street parking, with access utilizing existing driveways. The sale agreement stipulates that on-site parking is to be created, proposed to be accomplished by adding to parallel automobile stalls adjacent to the parking lot access driveway.

The multi-tenant building is designed to face the parking lot with entrances to host two businesses. The primary tenant is **Higgins Travel**. The emergency/staff entrances will be from the street-facing (southwest) side of the building. Due to the nature of the site, there is no “back side” of the building. The exterior materials are proposed to be grey aluminum panels, brick with precast stone sills, and fiber cement panels (wood in appearance). This material pallet is substantially similar to the nearby Century21 building, 3149 Meadowlark Ln. Notably, the proposed architecture features a flat roofline without parapet height change, projections, or change in materials.

Most of the stormwater at this site will be collected and conveyed to an on-site infiltration basin with overflow to regional facilities located in the west corner of the quadrant, per the River Prairie Master Plan.

The petitioner proposes to utilize the existing refuse enclosure located within the City parking lot. If approved, an agreement shall be required regarding that arrangement.

Submittals Site drawings and renderings submitted by Advanced Engineering Concepts (AEC) and SDS Architects on 2020 January 6 are substantially complete as required in Section VIII 2. of the River Prairie Design Standards and Standards. Submission package includes Narrative Summary, Site Plan (numbered SIP1 – SIP8) and building illustrations (A101, A202). **Staff requires submission of and successful review of detailed civil site plan**



incorporating modifications based upon approval conditions prior to construction permitting, should the City Council approve the SIP with recommended conditions.

Enclosed in 2020 January 21 Plan Commission Packet:

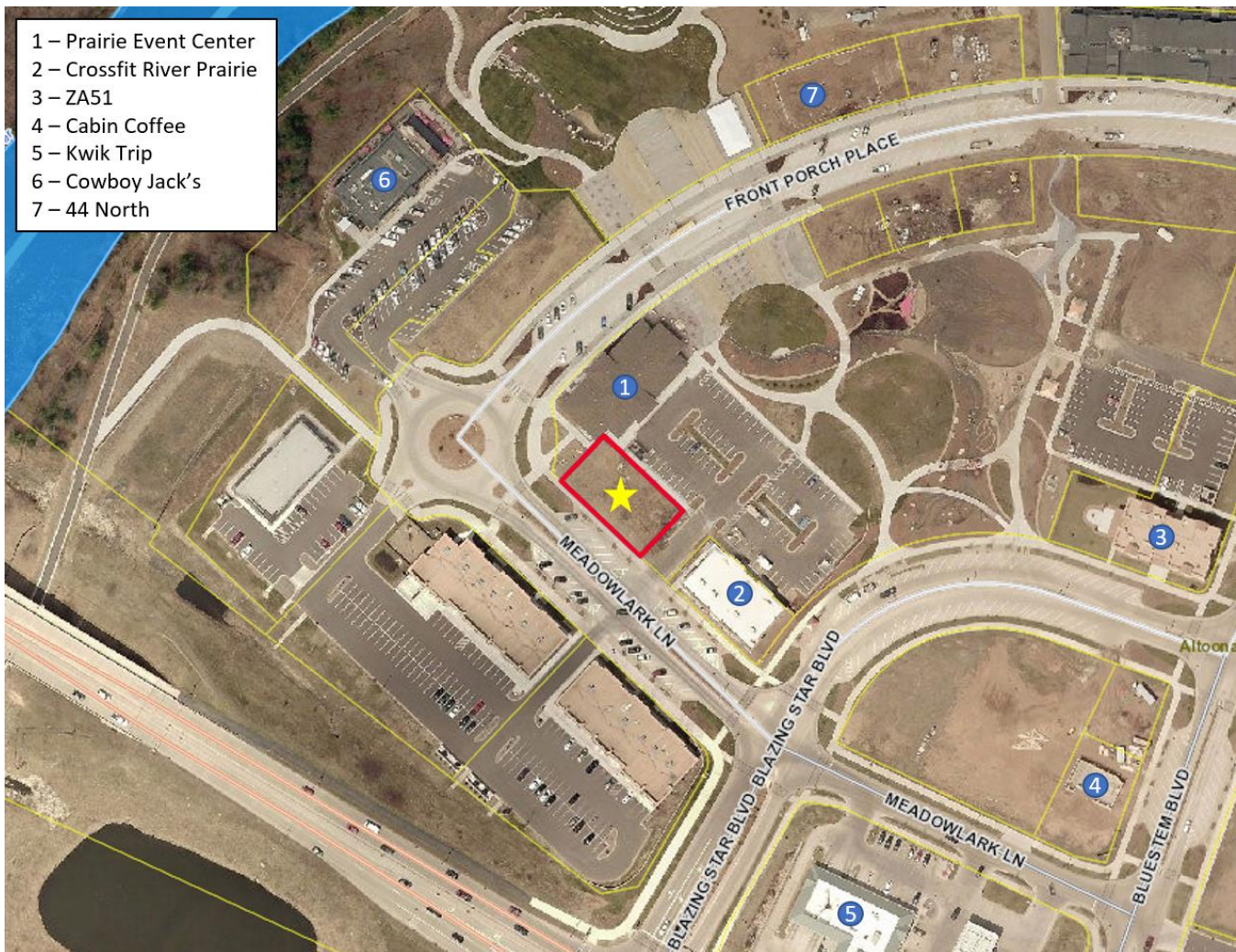
- (a) General Location Map: Pg 1.
- (b) A Site Inventory and Analysis: Pg 2/8.
- (c) A Site Plan that includes the following:
 - a. Location of proposed structures and existing structures that will remain, with height and gross floor area included: *“Site Inventory and Analysis”* [Pg. 2/8]; A101, A202
 - b. Location of street and pedestrian lighting, including lamp intensity, design and height: *None provided.*
 - c. Location of proposed open space: *“Landscape Plan”* [Pg. 3/8].
 - d. The circulation system indicating pedestrian, bicycle and motor vehicle movement systems: *“Circulation Plan”* [Pg. 8/8].
 - e. Location of all trees, shrubs, and ground cover (proposed or existing) to remain on site: *“Landscape Plan”* [Pg. 3/8].
The landscape plan provided is conceptual and does not provide sufficient detail for review consistent with the River Prairie Design Guidelines and Standards. A final landscape plan illustrating placement and species of plantings shall be provided and approved prior installation.
- (d) A Stormwater Management Plan: *“Drainage Plan”* [Pg. 7/8]; *Require City Engineer review of detailed plan prior to issuance of building permit.*
- (e) Detailed Elevations of Buildings: *Architectural Building Plans* A101, A202.
- (f) Utilities Plan: *“Utility Plan”* [Pg. 6/8]
- (g) A Written Report: *Provided.*
- (h) Phasing Plans Where Applicable: N/A
- (i) Any other information deemed necessary by the Plan Commission or Common Council: *Sign Measurements – Not reviewed as part of this SIP review, subsequent sign permit will be required.*

Applicable Standards	City of Altoona Comprehensive Plan (2009) River Prairie Design Guidelines and Standards (2007)
Review Required By	Plan Commission (2020 Jan 21) recommendation to City Council (Jan 23).
Reviewed By	Planning Department; Public Works; Fire Department
Staff Recommendation	Not Approve Specific Implementation Plan subject to conditions and findings.

Background Information

Zoning & Land Use The current land use of the parcel is Vacant.

River Prairie NW Quadrant	Zoning	Land Use
Subject Site	River Prairie Mixed-Use	Vacant
West	River Prairie Mixed-Use	Meadowlark Lane Multi-tenant office/retail
North	River Prairie Mixed-Use	River Prairie Center
East	River Prairie Mixed-Use	River Prairie Park Municipal Parking
South	River Prairie Mixed Use	Crossfit RiverPrairie



Above: Proposed site of Higgins Travel highlighted in Red.



Proposed Land Use	Commercial – Multi-Tenant.
Conformance with Comprehensive Plan	The 2009 City of Altoona Comprehensive Plan identifies the area as the River Prairie Mixed-Use District generally, and this site is illustrated as commercial use in the General Implementation Plan created by the City. Specific Implementation Plan is consistent with the Comprehensive Plan.
Conformance with Zoning	Parcel is zoned River Prairie Mixed Use, and the Specific Implementation Plan entails review of proposed use, site and structure. Proposed use, building design and circulation elements are generally consistent with use guidelines outlined in the approved River Prairie General Implementation Plan.

Project Description, Analysis & Conclusion

Criteria for Approval River Prairie Design Standards & Guidelines Section VIII 2 – see *Submittals* on page 2.
Planning Department has reviewed and confirmed submittals generally satisfy the River Prairie Design Standards and Guidelines regarding architectural design and site plan. Recommended of conditions of approval detailed below.

Parking

Automobile parking is provided in the existing City parking lot.

Bicycle parking spaces are not shown. Staff recommends adding not less than 2 “U-Racks” near the primary functioning building entrance at an appropriate location within the property boundary. The location shall meet manufacturer specifications regarding minimum spacing to avoid conflicts with pedestrian walkways.

Access & Circulation

The proposed walkway along the south side of the building is illustrated as 5.2 feet in width. That walkway shall be contiguous and uninterrupted between the existing public sidewalk on either end. Integral curb shall be provided separating the parallel parking spaces and the walkway.

Landscape

The landscape plan provided is very conceptual and does not provide sufficient detail for review consistent with the River Prairie Design Guidelines and Standards. A final landscape plan illustrating placement and species of plantings shall be provided and approved prior installation.

The landscape plan illustrates “small deciduous trees”. The RPDG require that canopy trees shall only be substituted with ornamental trees “where overhead lines and fixtures prevent normal growth and maturity” [RPDG IX 6 (D) 2(c)]. Unless the proximity to existing and proposed underground utilities causes long-term concern, canopy trees should be specified.

Building

The building façade **fails** to meet the River Prairie Design Guidelines and Standards:

1. **7.3 (C) Variation in Massing.** “A single, large, dominant building mass shall be avoided in new buildings and, to the extent reasonable feasible, in development patterns of existing buildings.”
 - i. “Horizontal masses shall not exceed a height:width ratio of 1:3 without substantial variation in massing that includes a change in height and projected or recessed elements”

THE CITY of *Altoona*

The gray EIFS panels that occupy the predominate architectural feature that occupies the space approximately 10' to 15' wraps the entire building interrupted only by tenant signage and, briefly and on a single side, the entrance feature. This uninterrupted material occupies approximately 30 percent of the building exterior with the sole architectural feature illustrated being the entrance.

The black metal canopy and (presumably) metal wall cornice form a continuous line or "band" around the building (framing the gray EIFS), the canopy interrupted only by the building entrance.

The combination of a consistent flat roof line and nearly uninterrupted lines of gray EIFS and black metal create a monotonous aesthetic appearance that does not conform to the River Prairie Design Guidelines nor existing and approved buildings in the River Prairie Mixed Use District.

- 2. **7.3 (D) 6 (b) Character and Image – Façade Treatment – Base and Top Treatments.** "All facades shall have a recognizable "top" consisting of (but not limited to): (1) cornice treatments, other than just colored "stripes" or "bands," with integrally textured materials such as stone or other masonry or differently colored materials; (2) sloping roof with overhangs and brackets; (3) stepped parapets."

As illustrated in the submittal and described above, the "top" features of the building appear as uninterrupted "bands" of consistent height, absent of architectural features such as parapets or projected/recessed elements.



2 NORTH ELEVATION COLOR
1/8" = 1'-0"

Above: Proposed architecture.

THE CITY of *Altoona*

The City Council required the architecture for 3149 Meadowlark Lane (Century21) to be modified from a similar submittal (2016-0623). The developer added both vertical height changes, recessed portions, and change in materials. The result is more consistent with the River Prairie Design Guidelines and Standards; however, greater height change is recommended of future projects.



Above: 3149 Meadowlark Lane (Google Earth)



The adjacent building, 3040 Meadowlark Lane (above, Google Earth), is a similarly sized (6,600 sf²), two-tenant building on a smaller lot (7,745 sf²).

Utilities

The area drain in the north corner of the property should be contained within an easement for maintenance purposes.

Staff Recommendation Planning Department recommends the Plan Commission **not approve** the Specific Implementation Plan as failing to be in substantial conformance with the River Prairie Design Guidelines and Standards with specified modifications and conditions:

- A. Letter designates general review category
- 1. Number heading denotes proposed condition
 - a. Small numeral subheading denotes subordinate or referred condition
 - i. (i) indicates staff comment or ordinance reference.

Any changes to civil plan, landscape plan, architecture, or circulation from the SIP submittals shall be reviewed by City of Altoona staff, per River Prairie Design Guidelines & Standards [RPDG] amendment process [VIII]. Major changes will require review by the Plan Commission and Council. Appropriate building permits shall not be issued until City staff successfully reviews and approves of final plans to ensure conformance with River Prairie Design Guidelines & Standards and consistency with the SIP approval conditions herein; and consistent with *Altoona Municipal Code* Chapter 14 “Stormwater”.

A. Access, Circulation & Parking [RPDG IX. 1]

- 1. Connect the walkway along the south side of the building to the existing public sidewalk on either end.
- 2. Add not less than two bicycle racks at an appropriate location near the public entrances. Bicycle racks shall be “U Stand” or “Rounded A” design, or substantially similar, as described in *Altoona Municipal Code* Chapter 19.52, installed per manufacturer specifications.

B. Landscaping [RPDG IX 6]

- 1. Bio-infiltration devices and water quality swales shall be attractively landscaped with horticulturally appropriate rain garden plantings and small trees, and shall not be predominately turf grasses.
- 2. A final landscape plan illustrating placement and species of plantings shall be provided and approved prior installation.

C. Building and Architectural Standards [RPDG IX 7]

- 1. **Facade design fails to meet River Prairie Design Guidelines and Standards. Architecture must be revised and re-considered for approval (7.3 (C) Variation in Massing; 7.3 (D) 6 (b) Character and Image).**
- 2. All building and site signs shall require sign permits and meet design requirements outlined in the River Prairie Design Guidelines, IX 5. Insufficient information provided in the SIP submittals (dimensions, total area calculations, design, lighting, etc.) for sign review and approval.
- 3. All exterior lighting on the site shall be of full cut-off design and be shielded to prevent spillover of direct light onto adjacent properties [*Altoona Municipal Code* 19.59.030 (H)].
- 4. Any/all mechanical equipment, including roof-mounted units, shall be appropriately screened by building-compatible materials or landscaping [RPDG, IX 7 H].

D. Utilities

- 1. If the building features a sprinkler system, the Fire Department Connection (FDC) shall be 4” STORTZ and shall be located on the street-facing or parking lot facing facade of the building. Final placement shall be reviewed and approved by Altoona Fire Department.



2. Private utilities, including electric transformers, shall be located such as to minimize impact on landscaping. Private electric service shall be located on private property under softscape, avoiding impacts on trees and major landscape elements. City of Altoona reserves the right to review and approve location of electrical transformers and other visible fixtures.
3. Submittal and successful review of final *storm water plan* and *civil site plan* by City Engineer as described in the *Altoona Municipal Code* Chapter 14.
4. The existing area drain in the north corner of the site, and contributing pipes, shall be reserved via public easement.

E. Operational

1. The petitioner shall enter into an agreement regarding utilization of existing City refuse enclosure if shared use is anticipated.
2. The petitioner / operator(s) shall attempt to coordinate deliveries (if any) to take place during off-peak hours to minimize conflicts with pedestrian and automobile circulation along adjoining walkways and within the public parking lot. [RPDG, IX 7.1 I].

Higgins Travel Altoona, WI

Specific Implementation Plan Submittal Documents



PROJECT DESCRIPTION: Higgins Travel

The proposed Higgins Travel building will be located in the NE quadrant of the intersection of Meadowlark Lane and Front Porch Place in the City of Altoona. The total project area is 0.21 acres. The site is bordered by Meadowlark Lane to the southwest, Altoona Parks & Recreation building to the northwest and an existing public parking lot in the northeast.

Parking for the site is provided by an existing public parking lot (79 general stalls, 4 ADA stalls). This parking lot only has driveway access from Meadowlark Lane, but also has access for vehicular traffic and emergency vehicles within the adjacent City streets.

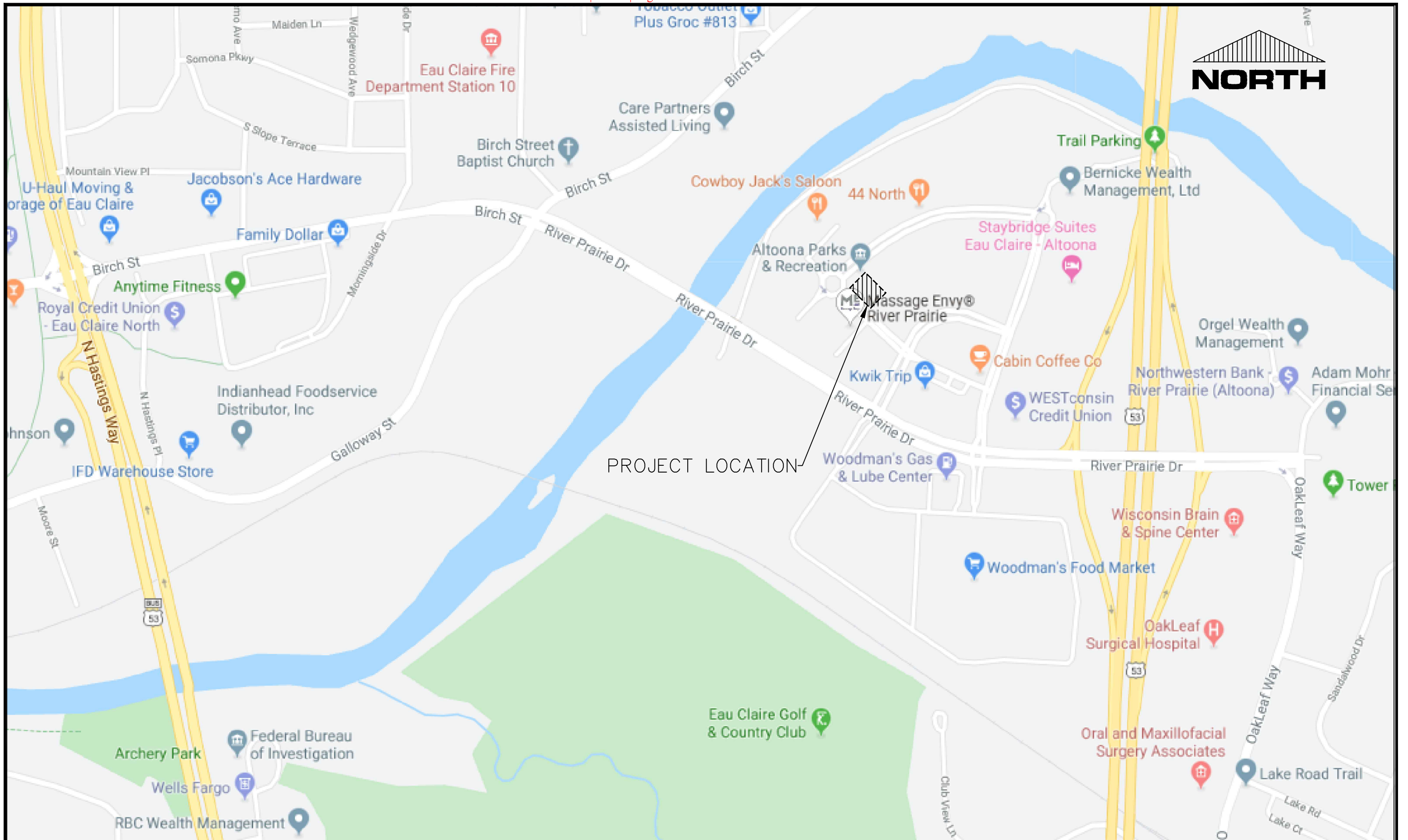
Landscaping will be done in accordance to the City of Altoona standards with a combination of trees, shrubs and grasses planted along the building foundation and around the perimeter of the site. Wall pack lighting will be placed on the proposed building.

Stormwater runoff from the roof drains will be directed to an infiltration basin located at the northwest end of the site. The infiltration basin will overflow into an existing storm sewer system that has area inlet at the north end of the site, which direct runoff to the stormwater facilities for the River Prairie development. The greenspace areas and sidewalks will sheet flow away from the building and into the existing storm sewer system. With the proposed infiltration facilities in-place, runoff leaving this development will meet and/or exceed the standards of both the City of Altoona and the WIDNR for water quality and infiltration.

There are 6" water and 6" sanitary service laterals that enter the site from Meadowlark Lane that will be utilized to service the proposed building. The proposed building will tie into these utilities with a 2" water service and 4" sanitary service. It should be noted that all utilities have been designed to accommodate this development. In addition, there is gas, electric, and cable adjacent to the site.

The overall development area for the Higgins Travel Building is 0.21 acres. The building will be approximately 64% of the site, sidewalks/patios 3%, and open space/lawns 32%. The size, configuration, and style of the buildings fit the intent of the River Prairie Design Standards and Guidelines which will be followed with the maximum extent practicable.

VICINITY MAP



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
19341



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 info@ae-concepts.com
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VICINITY MAP

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

DWG NAME
19341 PGI VICINITY
 DATE
01/2020

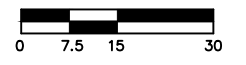
1
8

SITE INVENTORY AND ANALYSIS PLAN



Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



HATCHING LEGEND

- [Diagonal hatching] EXISTING BITUMINOUS PAVEMENT
- [Stippled hatching] EXISTING CONCRETE PAVEMENT

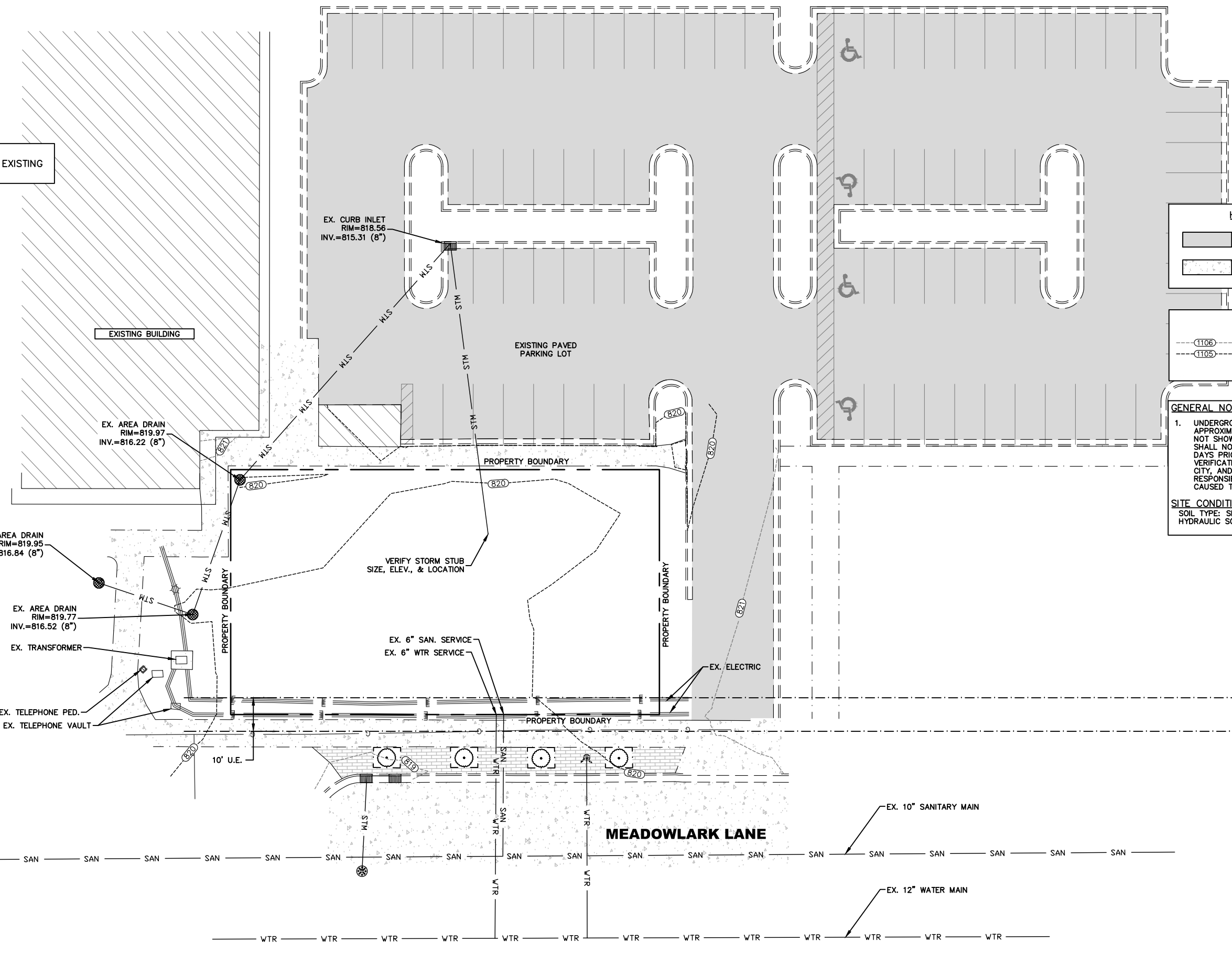
LEGEND

- [Dashed line with circles] EXISTING CONTOURS-MNR
- [Dashed line with squares] EXISTING CONTOURS-MJR

GENERAL NOTES:

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.

SITE CONDITIONS:
 SOIL TYPE: SIMESCREEK SAND (581A)
 HYDRAULIC SOIL GROUP: A



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
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SITE INVENTORY

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

DWG NAME
 19341 PG2
 SITE

DATE
 01/2020

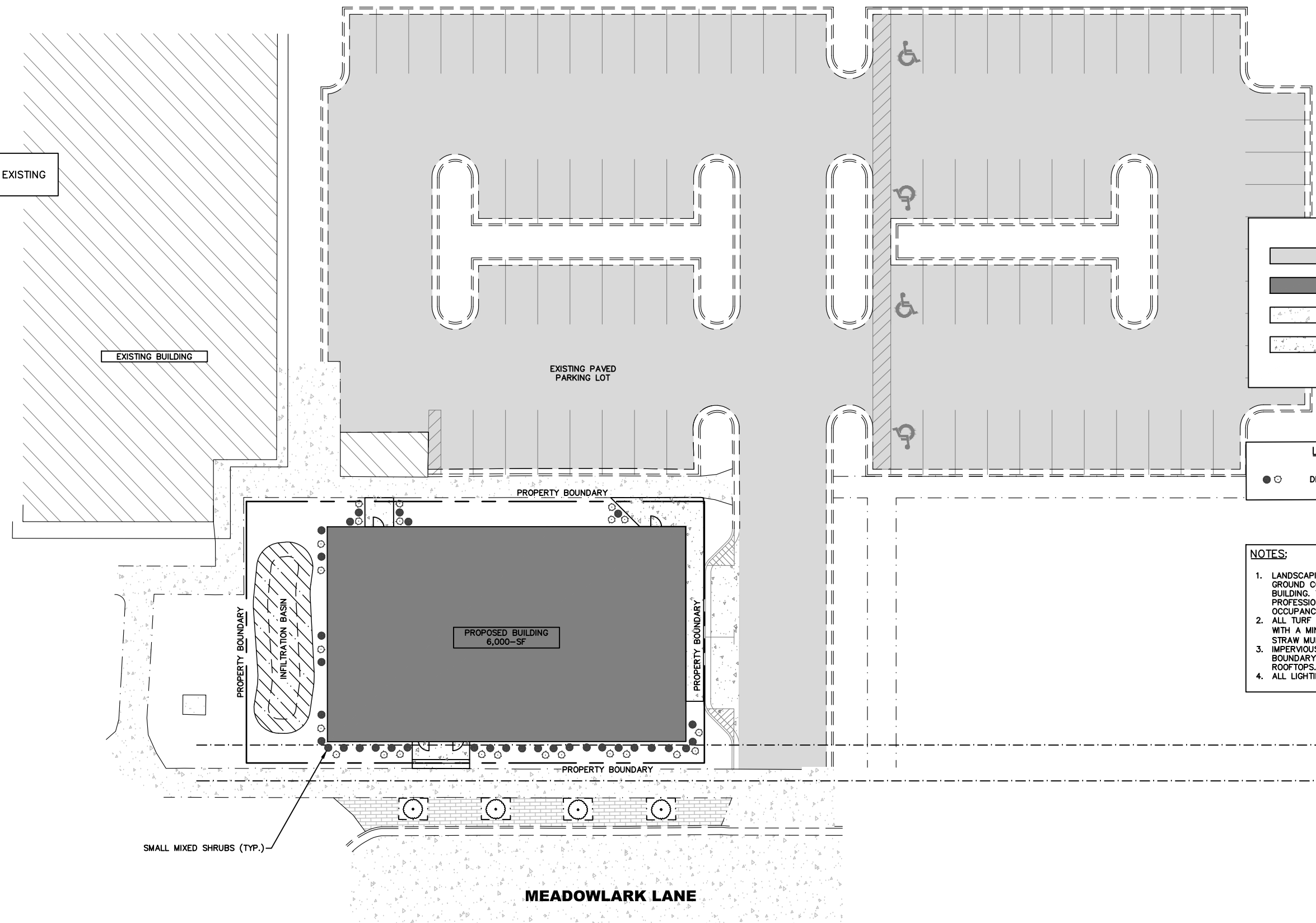
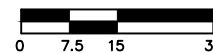
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 8

LANDSCAPE PLAN



Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



HATCHING LEGEND

- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BUILDING
- EXISTING CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)

LANDSCAPE LEGEND:

- DECIDUOUS STREET TREE

- NOTES:**
1. LANDSCAPING WILL CONSIST OF SHRUBS AND GROUND COVER PLANTED ADJACENT TO THE BUILDING. THE LANDSCAPING SHALL BE PROFESSIONALLY INSTALLED PRIOR TO OCCUPANCY.
 2. ALL TURF GRASS AREAS ARE TO BE RESTORED WITH A MIN, 4" SCREENED TOPSOIL, SEED & STRAW MULCH OR 4" TOPSOIL AND SOD.
 3. IMPERVIOUS SURFACES WITHIN THE PROPERTY BOUNDARY WILL BE RESTRICTED TO SIDEWALK AND ROOFTOPS.
 4. ALL LIGHTING SHALL BE DOWNCAST AND SHIELDED.

SMALL MIXED SHRUBS (TYP.)

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LANDSCAPE PLAN

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

DWG NAME
 19341 PG3
 LANDSCAPE
 DATE
 01/2020

3
 8

SITE PLAN



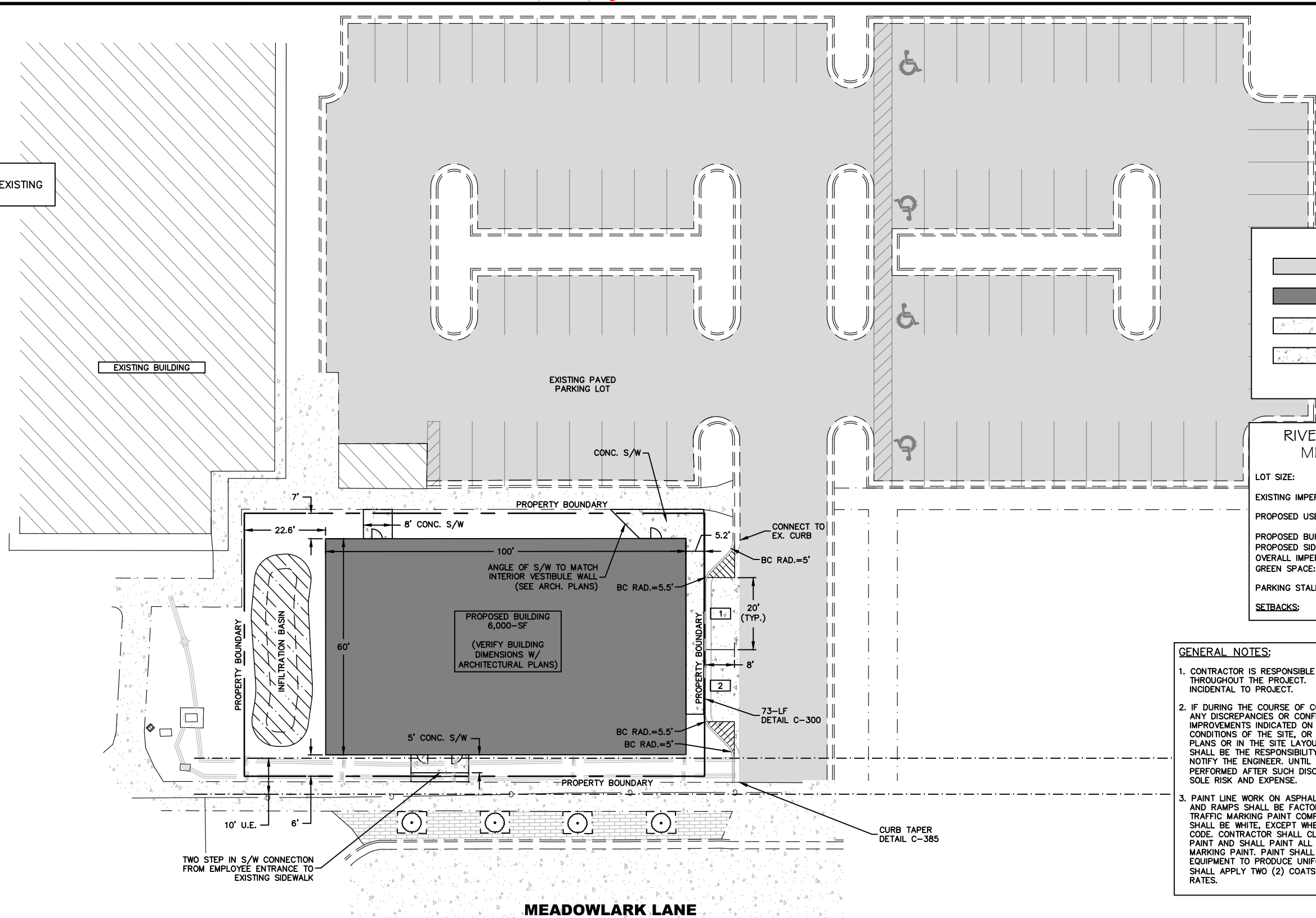
Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



HATCHING LEGEND	
	EXISTING BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)

RIVER PRAIRIE - HIGGINS MEADOWLARK LANE	
LOT SIZE:	9,328-SF (0.21 AC.)
EXISTING IMPERVIOUS AREA:	0.0-SF (0.0%)
PROPOSED USE:	MULTI-TENANT
PROPOSED BUILDING:	6,000-SF (64.3%)
PROPOSED SIDEWALK:	320-SF (3.4%)
OVERALL IMPERVIOUSNESS:	6,320-SF (67.7%)
GREEN SPACE:	3,008-SF (32.2%)
PARKING STALLS:	2 EA.
SETBACKS:	NONE



- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
 - PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248, Type COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
19341

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SITE PLAN

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

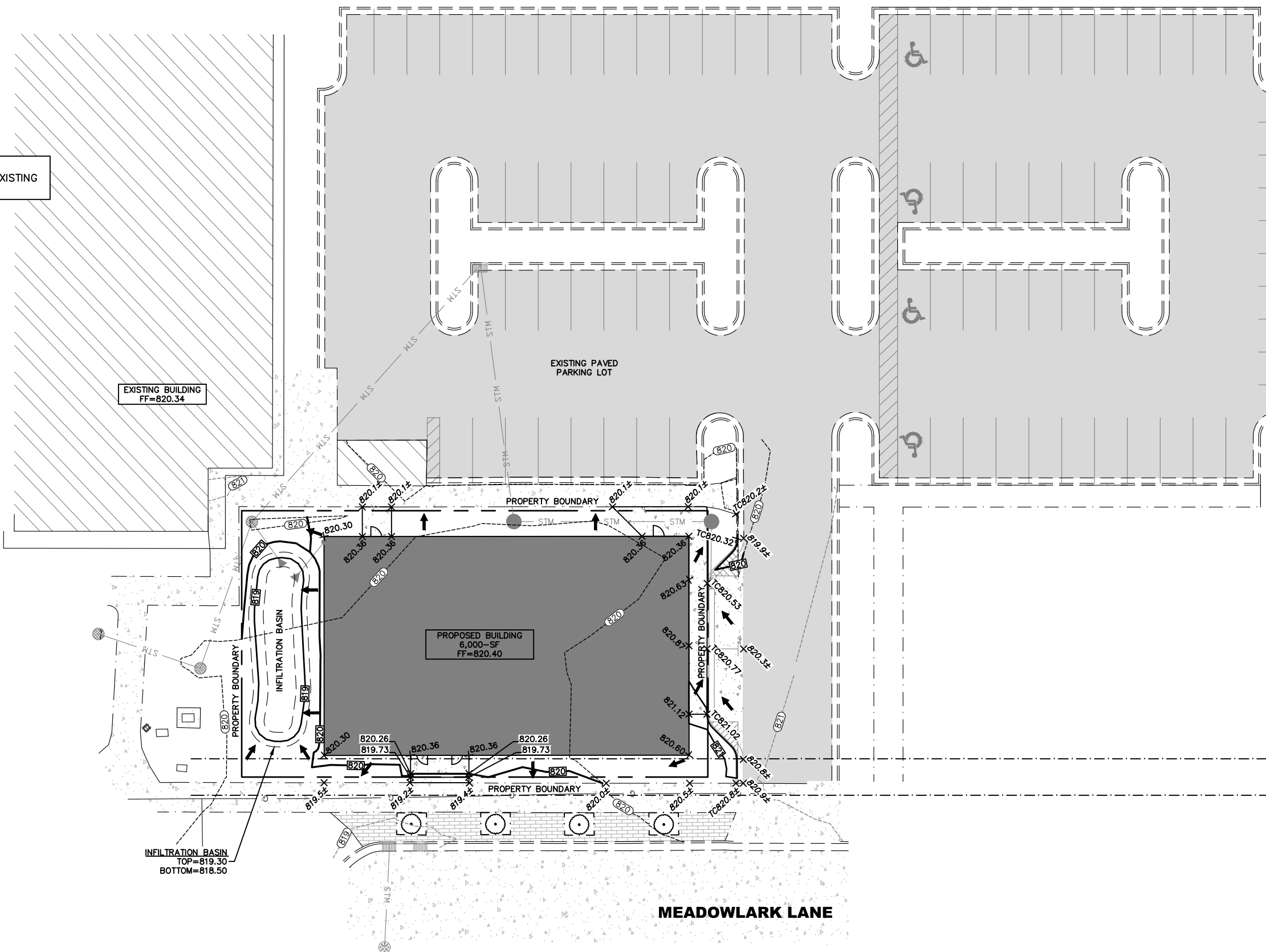
DWG NAME 19341 PG4 SITE	4
DATE 01/2020	8

GRADING PLAN



Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



GRADING LEGEND:

- EXISTING CONTOURS-MNR
- EXISTING CONTOUR-MJR
- FINAL CONTOUR-MJR
- FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- DRAINAGE ARROW
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- TOP OF CURB

- GRADING NOTES:**
- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT TOP OF PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES.
 - ALL SPOT ELEVATIONS ARE TOP OF ASPHALT/GRAVEL UNLESS OTHERWISE NOTED.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

EXISTING BUILDING
 FF=820.34

PROPOSED BUILDING
 6,000-SF
 FF=820.40

INFILTRATION BASIN
 TOP=819.30
 BOTTOM=818.50

MEADOWLARK LANE

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
 19341



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR., SUITE #1
 EAU CLAIRE, WI 54701
 PH: 715-552-0330
 info@ae-concepts.com
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GRADING PLAN

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

DWG NAME
 19341 PG5
 GRADING
 DATE
 01/2020

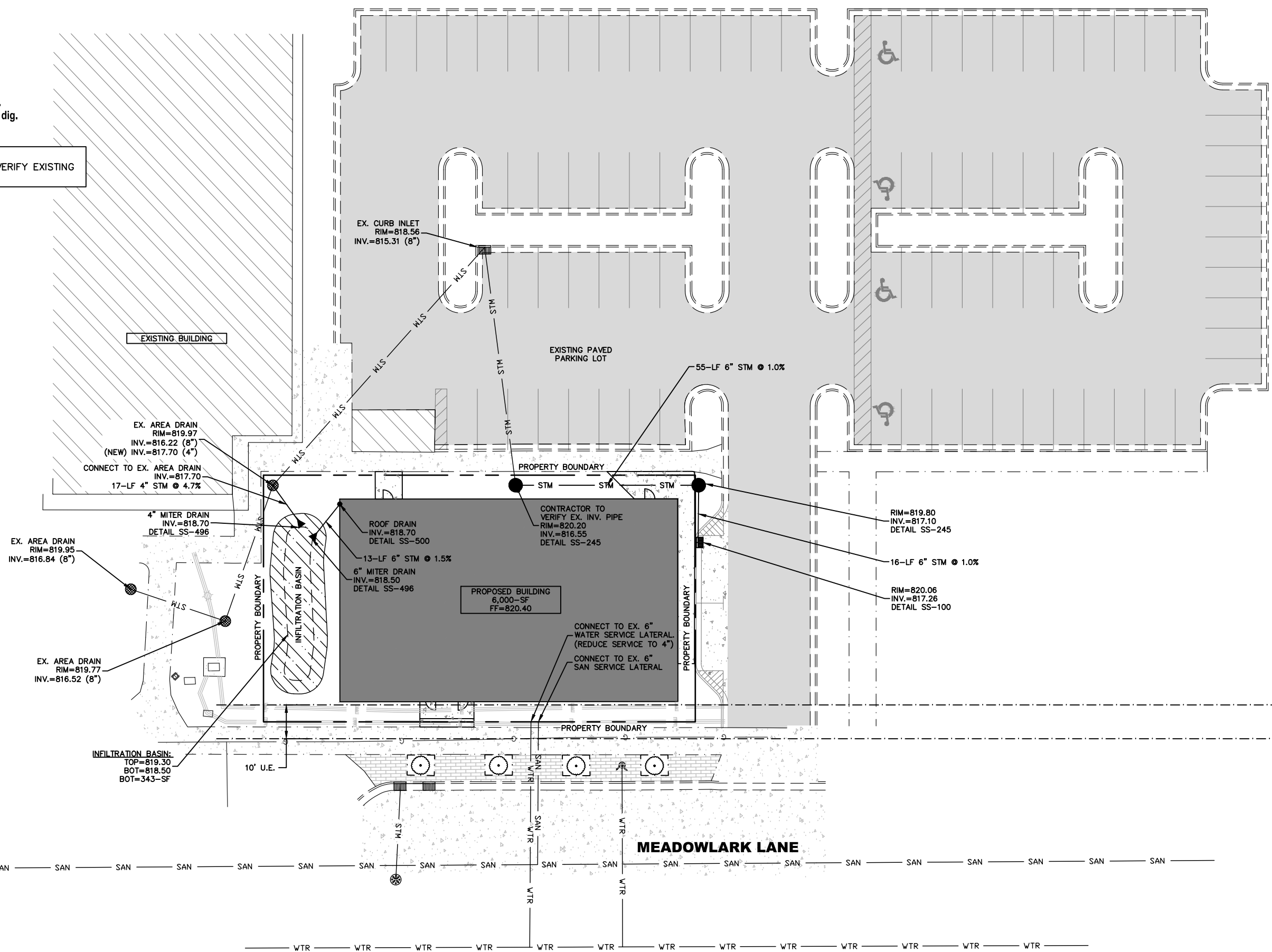
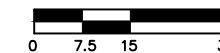
5
 8

UTILITY PLAN



Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
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UTILITY PLAN

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

DWG NAME
 19341 PG6
 UTILITY
 DATE
 01/2020

6
 8

DRAINAGE PLAN



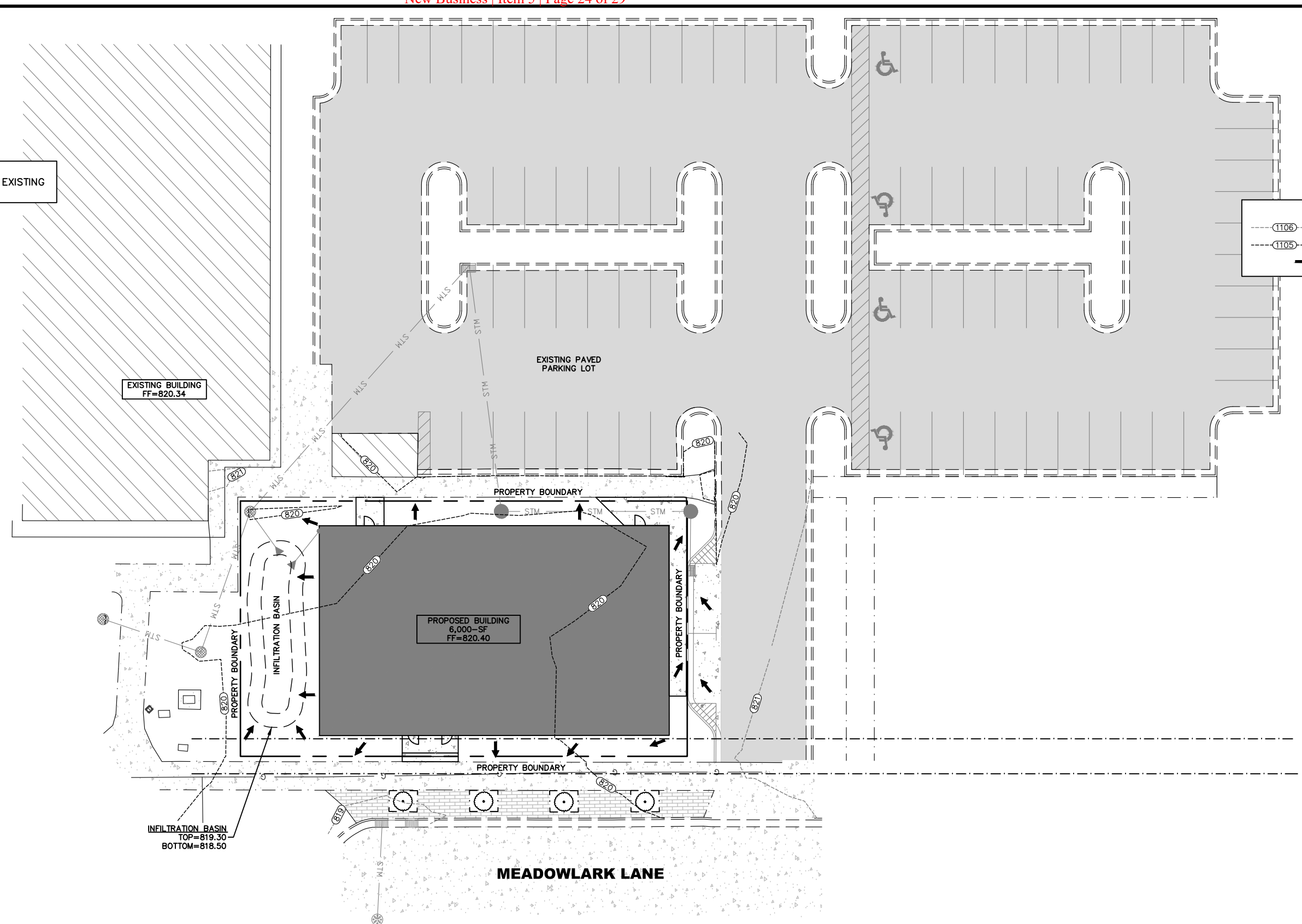
Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



GRADING LEGEND:

- EXISTING CONTOURS-MNR
- EXISTING CONTOUR-MJR
- DRAINAGE ARROW



EXISTING BUILDING
 FF=820.34

PROPOSED BUILDING
 6,000-SF
 FF=820.40

INFILTRATION BASIN
 TOP=819.30
 BOTTOM=818.50

MEADOWLARK LANE

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
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DRAINAGE PLAN

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

DWG NAME
 19341 PG7
 DRAINAGE
 DATE
 01/2020

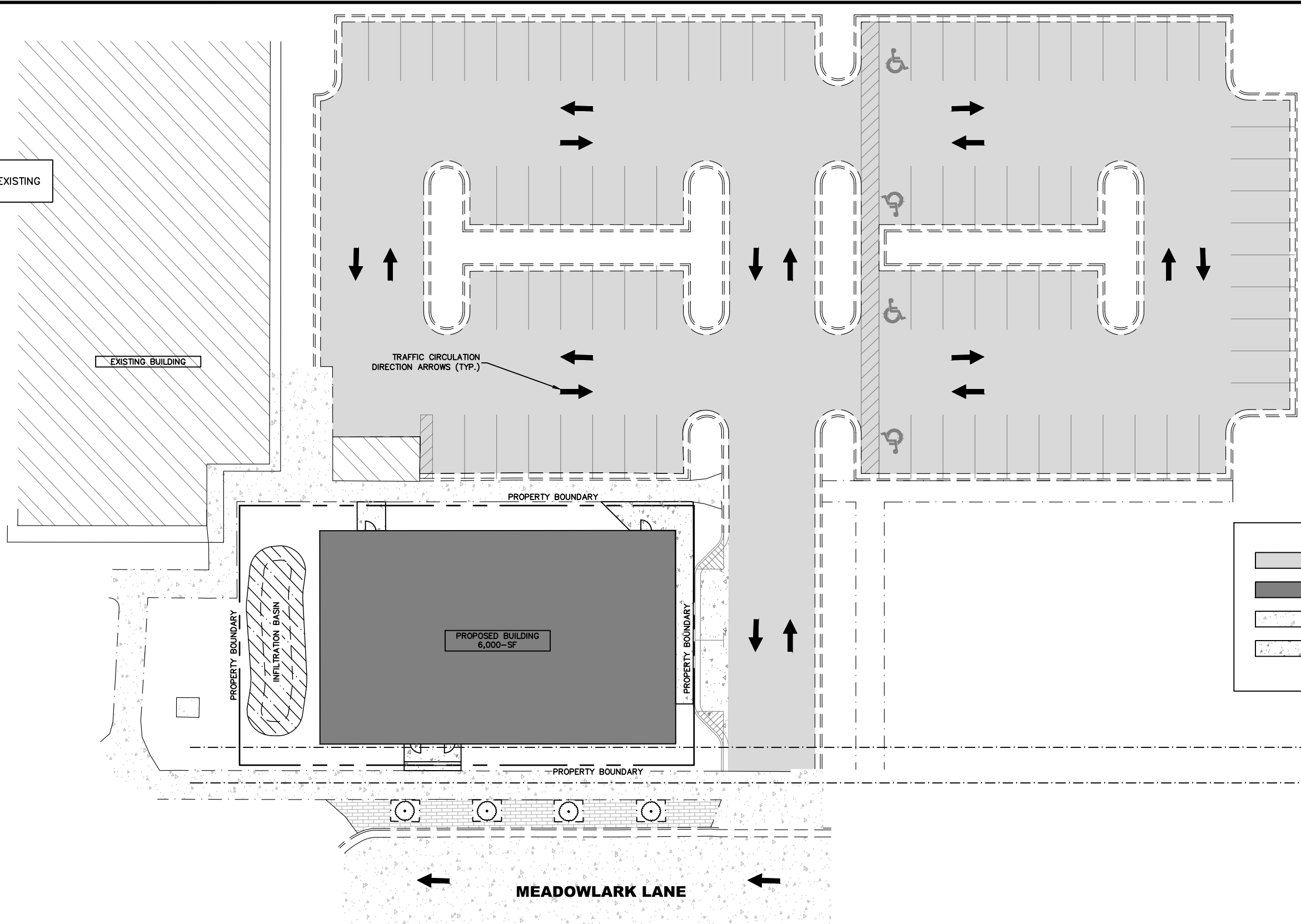
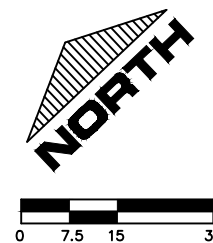
7
 8

CIRCULATION PLAN



Know what's below.
 Call before you dig.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING
 UTILITY LOCATIONS



HATCHING LEGEND	
	EXISTING BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
 19341



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CIRCULATION PLAN

SPECIFIC IMPLEMENTATION PLAN
 HIGGINS TRAVEL - RIVER PRAIRIE
 MEADOWLARK LANE, ALTOONA, WI

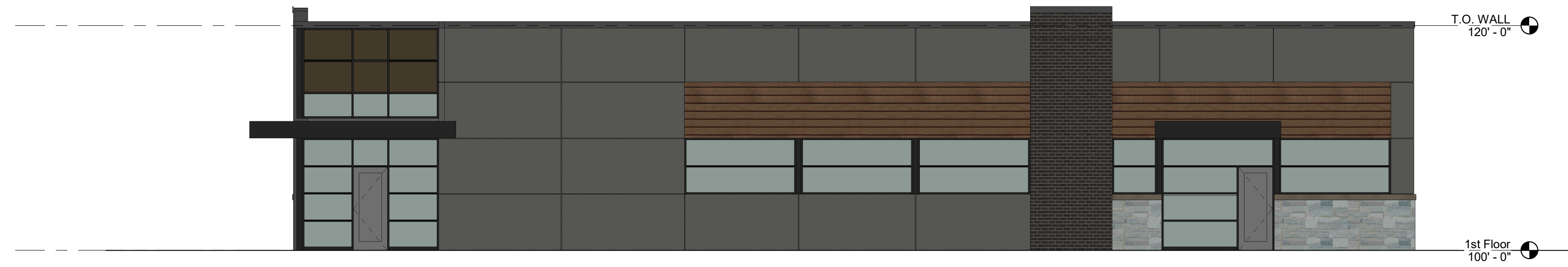
DWG NAME
 19341 PG8
 CIRCULATION
 DATE
 01/2020

8
 8

ARCHITECTURAL BUILDING PLANS



1 EAST ELEVATION COLOR
 1/8" = 1'-0"



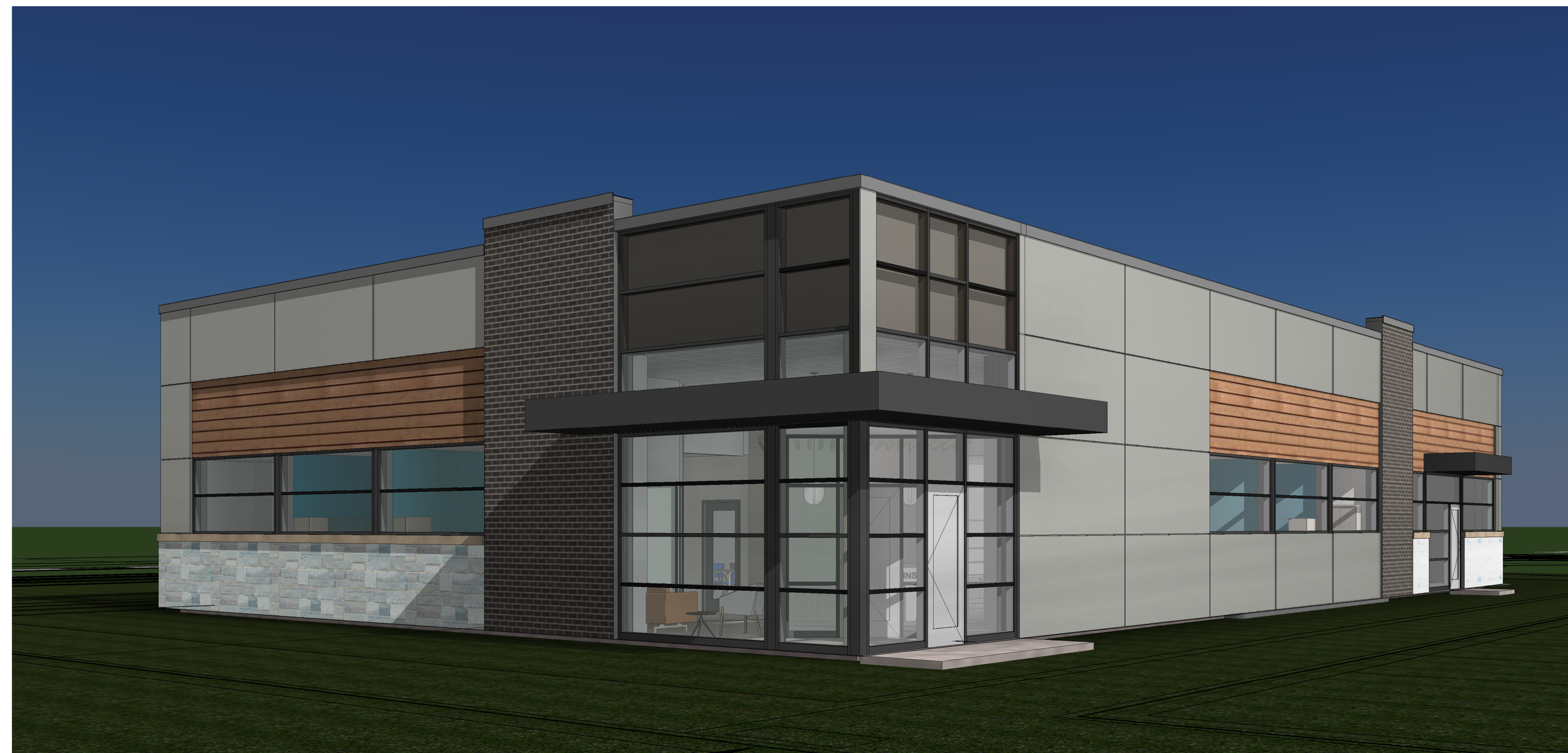
2 NORTH ELEVATION COLOR
 1/8" = 1'-0"



3 WEST ELEVATION COLOR
 1/8" = 1'-0"

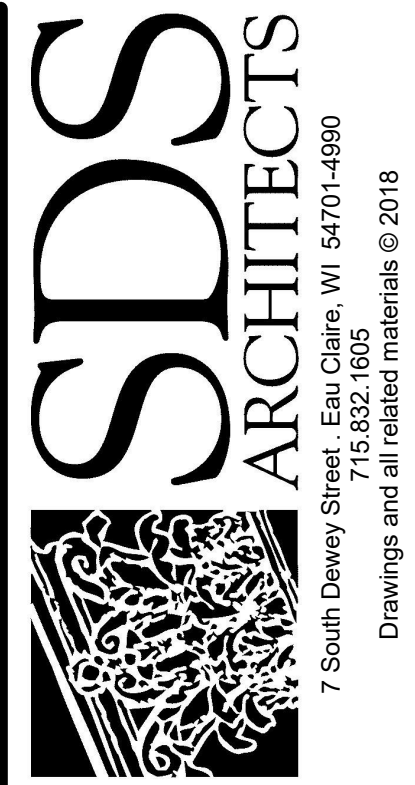


4 SOUTH ELEVATION COLOR
 1/8" = 1'-0"



5 3D View - EXTERIOR

Revision Schedule		
No.	Date	Description



1450 RIVERS EDGE TRAIL
 ALTOONA, WI 54720
 715-833-1761
 FAX: 715-833-1720



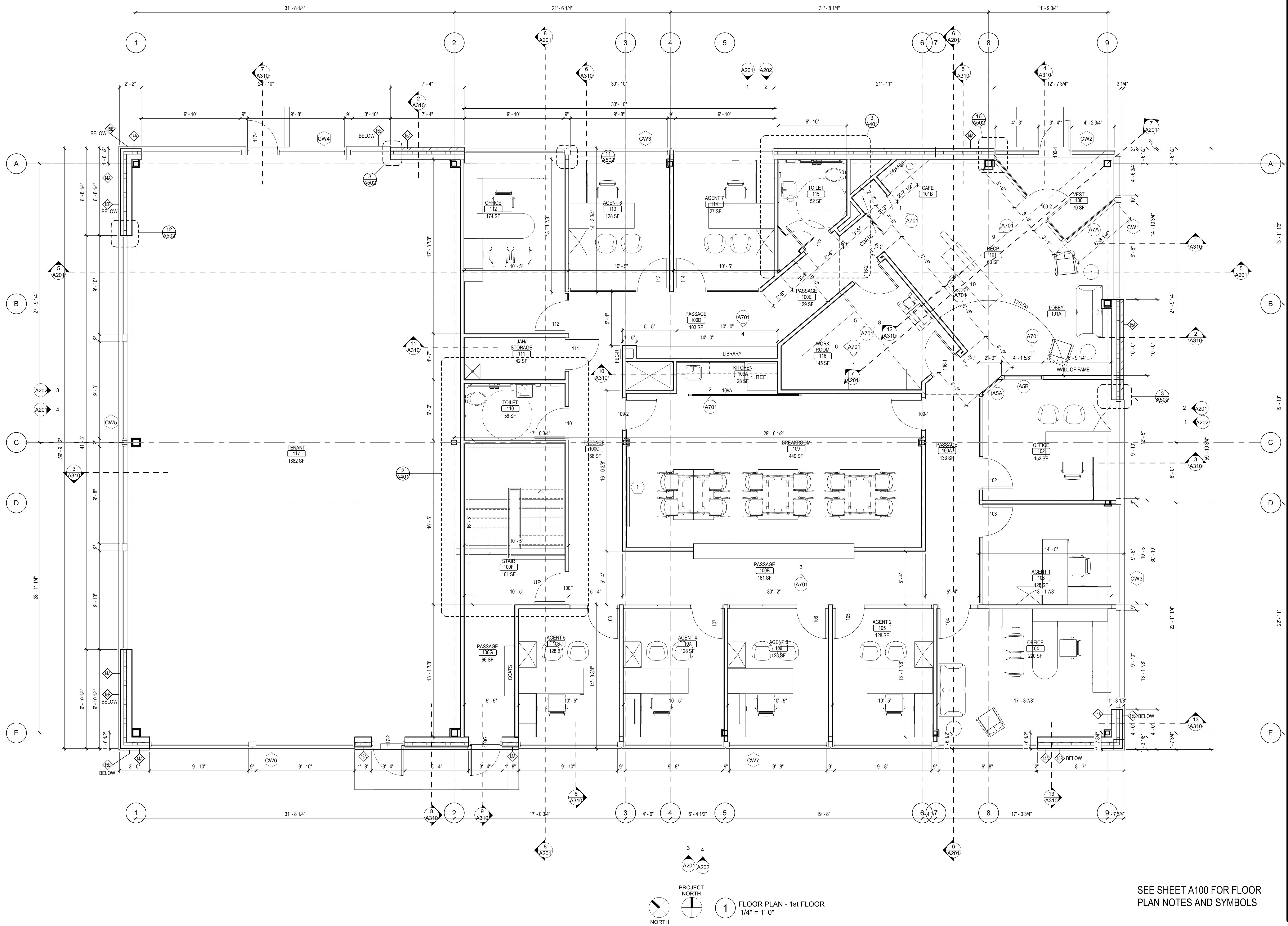
HIGGINS TRAVEL
 ALTOONA, WISCONSIN

FLOOR PLAN - 1st FLOOR

Revision Schedule		
No.	Date	Description

NOT FOR CONSTRUCTION
 12/13/2019
 1914

A101



PROJECT NORTH
 NORTH

1 FLOOR PLAN - 1st FLOOR
 1/4" = 1'-0"

SEE SHEET A100 FOR FLOOR PLAN NOTES AND SYMBOLS

THE CITY *of* Altoona

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 6 – Discuss/consider Site Plan for Parcel 201105302000 located on Otter Road for “Otter Road Storage” as submitted by Jason Gripentrog.

See Enclosed:

- Staff Report 20-01B (2020-0110)
- Proposed Site Plan “Otter Road Storage”

The enclosed Site Plan illustrates a 5,120 sf² storage/warehouse building on a 1.25-acre parcel in the I Industrial District. Staff has determined that the proposal meets Altoona Municipal Code and recommends approval with the following conditions:

1. Add native canopy boulevard trees in the boulevard area along the entire frontage, 30-foot average spacing, consistent with Ch. 19.54. Minimum species diversity: To prevent uniform insect or disease susceptibility and eventual uniform senescence on a development site or in the adjacent area, the maximum percentage of any one tree species on the site shall be 33% (not including screening trees). All species shall be native or native hybrid as recommended by the WI Department of Natural Resources. Maple species are discouraged as a predominate selection due to relative abundance in the region.
2. Location of storm water infiltration facility within the public right-of-way shall require entering into an agreement wherein if sidewalk or other public improvement were to ever be constructed, the full cost to relocate/redesign the drainage facility would be the responsibility of the property owner.
3. Permits shall be acquired for the corresponding retaining walls (Ch. 15.14), and slope stability measures shall be implemented consistent with Ch. 19.15.110.

Suggested Motion: I move to approve / not approve the Site Plan with staff recommended modifications.

PLANNING DEPARTMENT STAFF REPORT

20-01B

SITE PLAN – Otter Road Storage

2020 January 10

Address TBD
Parcel ID 201-1053-02-000
Application **Site Plan**
Prepared By Joshua Clements, AICP, City Planner

SUMMARY

Applicant Jason Gripentrog

Owner Choicepoint Holdings LLC
 2601 Morningside Drive, Suite 1
 Eau Claire, WI 54703-3643

Parcel Description W 165’ of S 330’ of NW-NE See U-350, S-5715

Requested Action Site Plan for the construction of a **5,120 sf²** storage building, development **1.25-acre** parcel.

Proposal Summary The proposed Site Plan for **Otter Road Storage**, a storage/warehouse building in the I Industrial District, includes one 5,120 sf² building with approximately 4,351 sf² of pavement on a 1.25-acre, steeply sloping parcel. The parcel is located on the east side of Otter Road, north of Draganettis Ristorante and adjacent to Highway 53.

The building will be placed on a level area artificially built-up with fill, with slopes exceeding 20% on to the north, east and south. The site is graded and designed to direct stormwater to existing storm inlets in Otter Road. Natural downgradient flow from the site along existing steep slopes enters Highway 53 right-of-way ditch. The parcel is adjacent to Otter Road and will seek multiple driveway access points. The area currently does not include sidewalks. Induced vehicle traffic is anticipated to be minimal.

Submittals (A) Site Plan application (2020-0106);
 (B) Narrative Memo (2020-0106);
 (C) Civil Plan (Advanced Engineering Concepts; 2020-106):
 (a) Project Location (1/6);
 (b) Existing Conditions & Demolition Plan (2/ 6);
 (c) Site & Utility Plan (3 / 6);
 (d) Grading Plan (4 / 6);
 Erosion Control Plan (5/ 6)
 (d) Conceptual Landscape Plan (**Not Provided**);
 (e) [Construction] Details (6 / 6);
 (D) Building Elevations (Robert Johnson Architects; A1, A2.1, A3; 2019-1230)

City Staff has determined that submittals satisfy requirements illustrated by code. Landscaping plan not provided and will be required prior to issuing building permits.

Applicable Standards City of Altoona Comprehensive Plan (2009)
 City of Altoona Code Title 19: Zoning

Review Required By Plan Commission

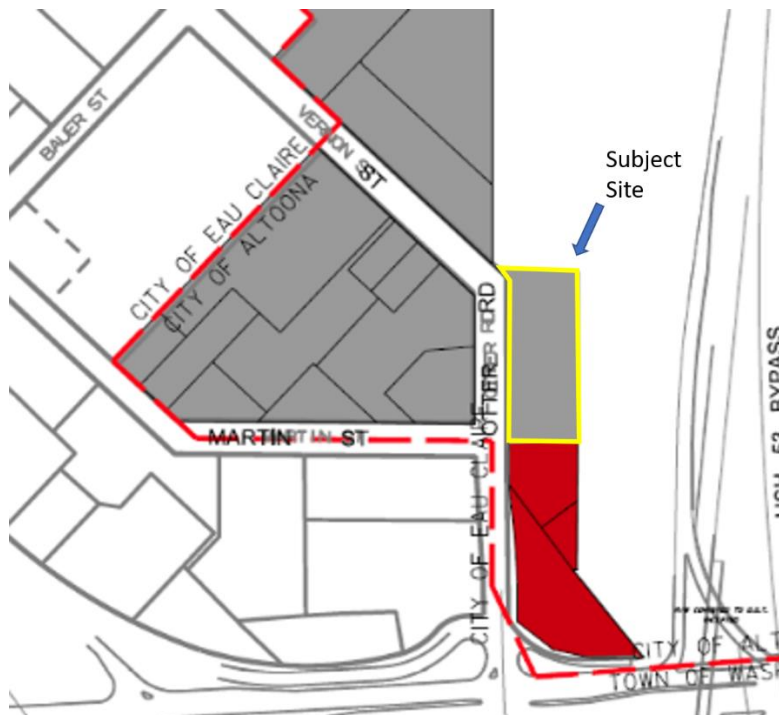
Reviewed By Planning Department, Public Works

Staff Recommendation Approve Site Plan with Modifications.

Background Information

Zoning & Land Use The current land use of is Vacant.

Subject Lot	Zoning	Land Use
Subject Site	I Industrial District	Vacant
North	N/A	Highway 12 Right-of-Way
South	C Commercial	Draganettis Ristorante
East	N/A	Highway 12 Right-of-Way
West	I Industrial District	Adrenaline Motorsports Aerco 1 Collision



Above: Zoning Context- Otter Road Storage

Proposed Land Use Self-Storage / Warehouse

Conformance with Comprehensive Plan The 2009 City of Altoona Comprehensive Plan identifies each lot, as well as those adjoining, as “General Commercial”.

Conformance with Zoning Property is Zoned I Industrial District, approved 2019-0822. The proposed Use and Site Plan is generally consistent with the existing zoning. The site is generally consistent and shall be reviewed according to Altoona Municipal Code.

Project Description, Analysis & Conclusion

Criteria for Approval The most relevant ordinance sections that provide the principal regulatory guidelines and standards are as follows:

- 19.44 I Industrial District
- 19.52 Parking and Loading Spaces
- 19.54 Site Plans

Chapter 19.44 “I Industrial District”

19.44.010 “Permitted Uses”

The proposed use is within the “C. Self-storage warehouses designed for access and storage by household customers”.

Criteria: Met

19.44.030 “Yard Requirements”

The minimum front yard setback is 20 feet. The proposed is 30.

The minimum side yard is zero. The proposed is 30.

The minimum rear yard is 25 feet. The proposed minimum is 52.

Criteria: Met

19.40.040 “Lot width requirements”

The minimum lot width is 100 feet. The existing lot is approximately 338 feet.

Criteria: Met

19.44.050 “Off-street parking requirements”

The minimum parking requirement is “1 space per 2 employees on the largest shift” [19.52.030]. There are no employees of the proposed use located on-site. The site arrangement may accommodate vehicles parked for temporary loading and unloading.

Criteria: Met

19.44.060 “Building and structure height limit”

“If all portions of said building are beyond one hundred thirty-two feet of any other district, the maximum height of any building shall be one hundred feet.” The proposed building is greater than 132 feet from the nearest parcel, and the building height is less than 100 feet.

Criteria: Met

19.44.070 “Buffer Required”

The proposed site does not adjoin residential uses, therefore this provision does not apply.

Criteria: Not applicable

Chapter 19.54.060 “Review Criteria” [Site Plan]

A. Ingress & Egress; Parking (...)

Vehicle ingress and egress meets driveway standards (commercial, 30-foot apron). Parking standards are met (see above).

Criteria: Met

B. Drainage

A portion of the sediment trap / rain garden storm water facility on the NW corner of the property is proposed to be located in the right-of-way. That portion of the right-of-way is wider than typical, and adding a sidewalk in that area probably would not require modification. The Director of Public Works recommends approval contingent upon entering into an agreement wherein if sidewalk or other public improvement were to ever be constructed, the full cost to relocate/redesign the drainage facility would be the responsibility of the property owner.

Criteria: Met (Storm water permit will be required).

C. Easements

No easements are necessary. See *Drainage*, above, regarding agreement for ROW encroachment.

Criteria: Met

D. Landscaping

Landscaping Plan not provided. Add boulevard trees at appropriate locations, 30’ spacing, with assumption that sidewalk will be added in the future one foot off the property line.

Provision 19.54.060 D. 4., “all yards shall have at least a ten-foot depth of landscaping...” and provision 5 “front yard... abutting the front one-third of the building shall have a minimum of six-foot landscaping strip...” is not feasible given the use (garage and person doors) and minimum lot depth for vehicle positioning.

Criteria: Recommended approval condition (Boulevard trees)

E. Lighting

No exterior lighting is indicated.

Criteria: Met

F. Signs

No signs are shown on the site illustrations. Signs permits shall be required for any building or ground sign.

Criteria: Met

G. Outdoor Storage

No outdoor storage is indicated in the site illustrations.

Criteria: Met

H. Utilities

All utilities are shown as underground.

Criteria: Met

I. Lot Coverage

The proposed building covers 5,120 sf², or 9.2 percent of the site. The maximum lot coverage, as defined in Chapter 19.54, is fifty percent.

Criteria: Met

J. Buildings

The proposed building façade areas are horizontal lap siding as well as brick facing base. Pitched roof with variable height.

Criteria: Met

Staff Recommendation Whereas “a majority of the quorum of plan commission members is required to take action for approval, conditional approval, or denial of a site plan.” [those conditions listed, see end of document]” (19.54.030). and;

Whereas “during the course of its review of any site plan, the plan commission shall use generally accepted site planning and design principles in making its determination of approval, denial or conditional approval. The scope of the review shall include, but not limited by the following list of objectives” [included above] (19.54.060);

Therefore, the Planning Department recommends that the Plan Commission **approve** the Site Plan for **Otter Creek Storage** with the following conditions (3):

1. Add native canopy boulevard trees in the boulevard area along the entire frontage, 30-foot average spacing, consistent with Ch. 19.54. Minimum species diversity: To prevent uniform insect or disease susceptibility and eventual uniform senescence on a development site or in the adjacent area, the maximum percentage of any one tree species on the site shall be 33% (not including screening trees). All species shall be native or native hybrid as recommended by the WI Department of Natural Resources. Maple species are discouraged as a predominate selection due to relative abundance in the region.
2. Location of storm water infiltration facility within the public right-of-way shall require entering into an agreement wherein if sidewalk or other public improvement were to ever be constructed, the full cost to relocate/redesign the drainage facility would be the responsibility of the property owner.
3. Permits shall be acquired for the corresponding retaining walls (Ch. 15.14), and slope stability measures shall be implemented consistent with Ch. 19.15.110.



Advanced Engineering Concepts
1360 International Drive, Suite #1
Eau Claire, WI 54701
Office 715.552.0330
www.rls-aec.com

Project Memo

To: City of Altoona-Public Works
From: Matt Appel, P.E. *MAA*
CC: Jason Griepentrog
Date: Jan 6, 2020
Re: Otter Road Storage – Drainage Analysis

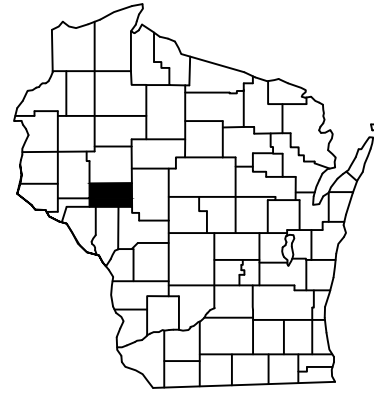
A 5,120-sf storage building is proposed on the 1.00-acre parcel at 1265 Otter Road. The site will have 5,120-sf of rooftop and 4,351-sf of pavement, which results in a site that is 21.6% impervious. The rooftop runoff will be collected in roof gutters and the downspouts from the gutters will be directed to storm sewer on either end of the building. The downspouts coming from the rear gutter will need to run along the side of the building, to the front of the buildings where it can be collected in 'downspout connections' or it must be directed onto the pavement where it should drain to the storm inlets in the pavement. The two storm drains will collect runoff from the pavement and connect to an existing storm sewer manhole in Otter Road via a 12" HDPE storm sewer. The overall drainage plan is to direct runoff away from the surrounding north, east and south slopes that are steep and erodible. Two temporary sediment traps are proposed on either end of the building to minimize sediment transport from the disturbed area during construction. Approximately 20,500-sf or 0.47-acres is proposed to be disturbed during construction. The storm sewer is sized to convey the 100-yr 24-hour storm event when flowing full.

Water and sewer services are not proposed to the building. One 17-foot wide street opening is proposed at the curve of the road where Otter Road meets Vernon Street. The building will have six separate storage units and two 28-foot wide driveway openings are proposed. The drive aisle is 30-feet wide in front of the buildings and there is room for angled parking in front of each unit, although no stalls are planned to be striped on the asphalt parking lot.

See attached site plans dated 1-06-2020 and building plans and elevation views dated 12-30-2019.

OTTER ROAD STORAGE CHOICEPOINT HOLDINGS, LLC OTTER ROAD ALTOONA, WISCONSIN

EAU CLAIRE COUNTY



VICINITY MAP



Know what's below.
Call before you dig.

PROJECT LOCATION



LOCATION MAP

CONTACTS

CITY ENGINEER	CITY OF ALTOONA DAVID WALTER (715) 839-6092
ELECTRIC	XCEL ENERGY: DESIGN SECTION ATTN: JOHN KELSER (715) 737-1431
GAS	XCEL ENERGY: DESIGN SECTION ATTN: BRADY GARDOW (715) 737-1450
TELEPHONE	AT&T ATTN: MARSHA FLATER (715) 839-5813
CABLE	CHARTER COMMUNICATIONS ATTN: CURTIS MOORE (715) 831-8940 ext. 51148
SEWER & WATER	CITY OF ALTOONA, PUBLIC WORKS DEPARTMENT ATTN: CURT CAREY (715) 271-6693
CITY ADMINISTRATOR	CITY OF ALTOONA MIKE GOLAT (715) 839-5045
FIRE DEPT.	CITY OF ALTOONA CHIEF: MARK RENDERMAN (715) 839-2970

LEGEND

EXISTING	PROPOSED	
		---BENCHMARK
		---CONTROL POINT
		---SIGN
		---CURB STOP
		---WELL
		---HYDRANT
		---GATE VALVE
		---CURB INLET
		---AREA DRAIN
		---SAN MH
		---STORM MH
		---SAN CLEANOUT
		---GAS MANHOLE
		---LIGHT POLE
		---UTILITY POLE
		---GUY WIRE
		---GUY POLE
		---PULL BOX
		---ELEC PED
		---CABLE PED
		---MAILBOX
		---TELE PED
		---IRON PIPE
		---ROW POST
		---REBAR
		---WATER MAIN
		---SANITARY SEWER
		---STORM SEWER
		---OVERHEAD UTILITY
		---TELEPHONE LINE
		---GAS LINE
		---ELECTRIC LINE
		---CABLE TV LINE
		---TREE LINE
		---EXISTING TREES
		---MARSH
		---FENCE LINE
		---WOVEN WIRE FENCE
		---SILT FENCE
		---RETAINING WALL
		---CONTOURS MAJOR
		---CONTOURS MINOR

ABBREVIATIONS:
 BC=BACK OF CURB
 BLK=BLOCK NUMBER
 BOT=BOTTOM (ELEV)
 CL=CENTERLINE
 CS=CURB STOP
 ELEV=ELEVATION
 EOP=EDGE OF PAVEMENT
 EX=EXISTING
 FES=FLARED END SECTION
 FF=FINISHED FLOOR (ELEV)
 FL=FLOWLINE
 GF=GARAGE FLOOR (ELEV)
 GLG=GROUND LINE GROOVE
 HWL=HIGH WATER LEVEL
 INV=INVERT
 LF=LINEAR FEET
 LO=LOOKOUT STYLE HOME
 LT=LEFT
 MIN=MINIMUM
 NWL=NORMAL WATER LEVEL
 PC=POINT OF CURVE
 PRC=CURVE REVERSAL POINT
 PT=POINT OF TANGENCY
 RAD=RADIUS
 RT=RIGHT
 R/W=RIGHT OF WAY
 SAN=SANITARY SEWER
 SP=SPOT ELEVATION
 STA=STATION
 STM=STORM SEWER
 TC=TOP OF CURB
 TYP=TYPICAL
 W=WATER FITTINGS
 WAT=WATER
 WM=WATERMAIN
 WO=WALKOUT STYLE HOME

LAND DEVELOPER:
 CHOICEPOINT HOLDINGS, LLC
 2601 MORNINGSIDE DR, SUITE 1
 EAU CLAIRE, WI 54701
 PHONE: 715.225.1923
 EMAIL: riverbendrpm@gmail.com

PROJECT ARCHITECT:
 ROBERT D. JOHNSON ARCHITECT
 5201 STONEWOOD DRIVE
 EAU CLAIRE, WI 54703
 PHONE: 715.828.8330
 EMAIL: rdjarchitect@gmail.com

PROJECT ENGINEER:
 ADVANCED ENGINEERING CONCEPTS
 MATT APPEL, P.E.
 1360 INTERNATIONAL DRIVE, SUITE #1
 EAU CLAIRE, WI 54701
 PHONE: 715.552.0330
 EMAIL: mappel@rls-aec.com

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
CITY OF ALTOONA – ERO. CNTRL		

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE & UTILITY PLAN
4	GRADING PLAN
5	EROSION CONTROL PLAN
6	DETAILS

AEC PROJECT #:19269 PLANS DATED: JANUARY 2020

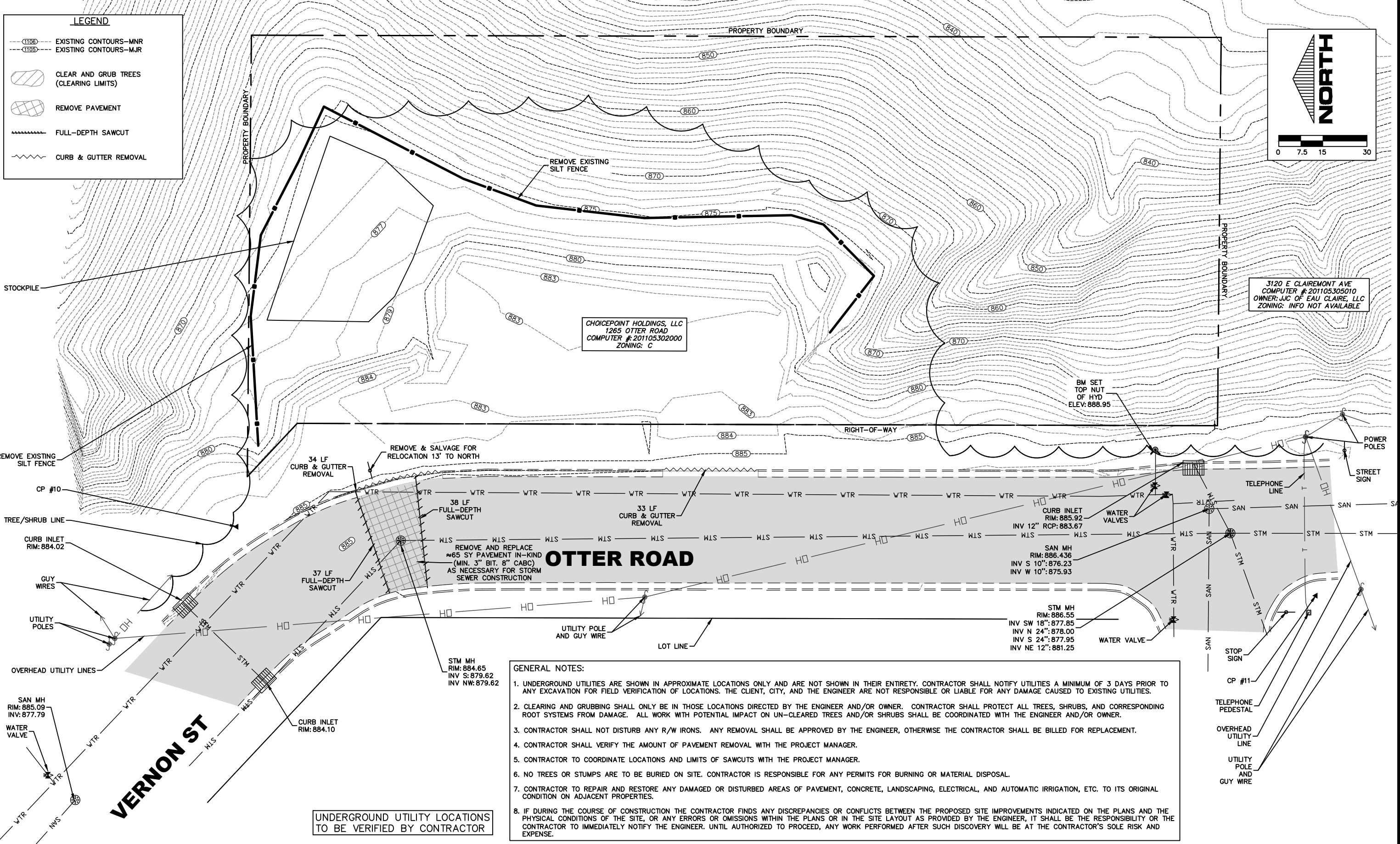


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 PH 715-552-0330
 INFO@RLS-AEC.COM
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LEGEND

- EXISTING CONTOURS—MNR
- EXISTING CONTOURS—MJR
- CLEAR AND GRUB TREES (CLEARING LIMITS)
- REMOVE PAVEMENT
- FULL-DEPTH SAWCUT
- CURB & GUTTER REMOVAL

NORTH



CHOICEPOINT HOLDINGS, LLC
 1265 OTTER ROAD
 COMPUTER # 201105302000
 ZONING: C

3120 E CLAIREMONT AVE
 COMPUTER # 201105305010
 OWNER: JJC OF EAU CLAIRE, LLC
 ZONING: INFO NOT AVAILABLE

OTTER ROAD

- GENERAL NOTES:**
1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 2. CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
 3. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 4. CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
 5. CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
 6. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
 7. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
 8. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

UNDERGROUND UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
19269



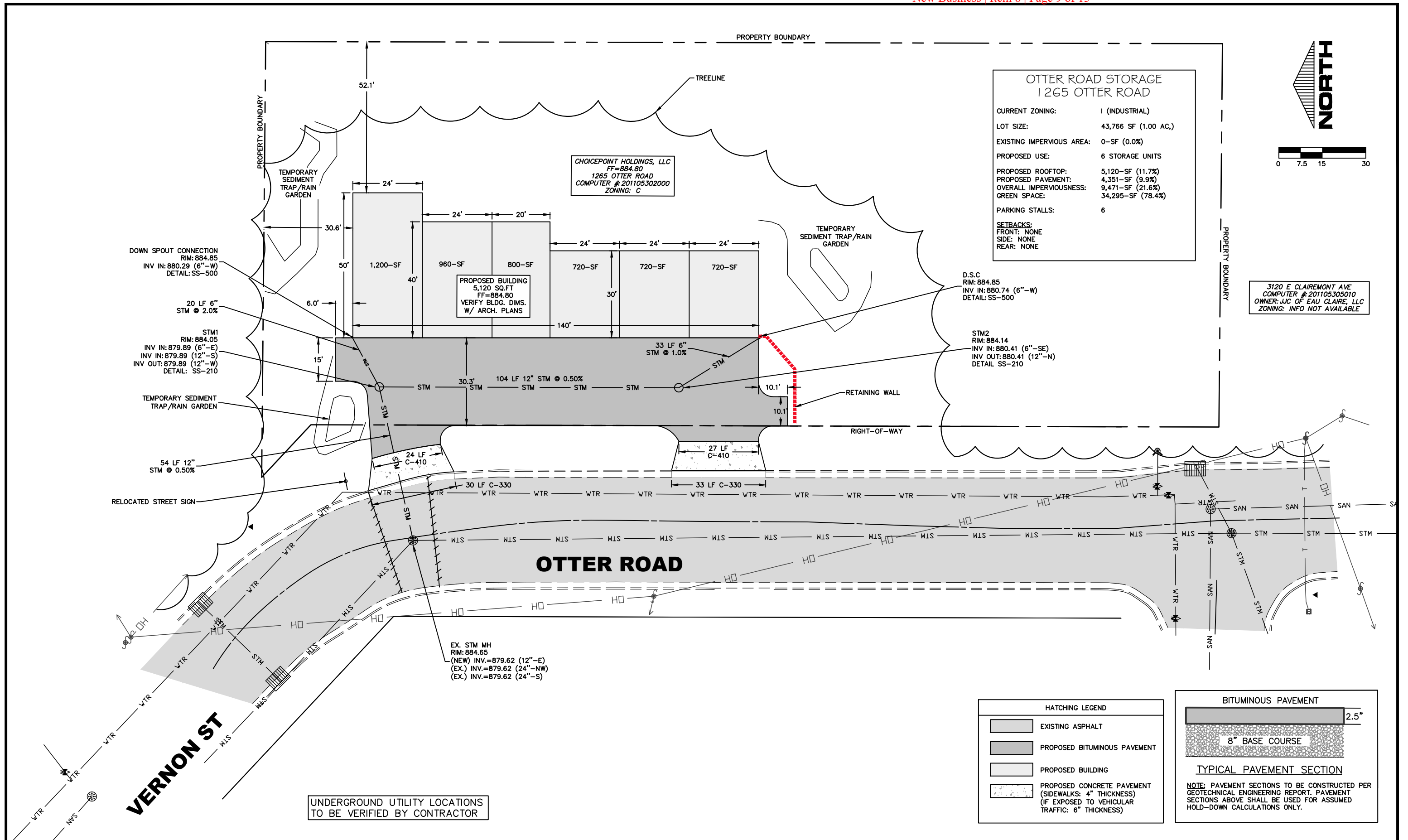
ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR. SUITE #1
 EAU CLAIRE, WI 54701
 PH: 715-552-0330
 info@ae-conc.com
 COPYRIGHT 2020 AEC LLC.

EXISTING CONDITIONS

OTTER ROAD STORAGE
 CHOICEPOINT HOLDINGS LLC
 OTTER ROAD
 ALTOONA, WI

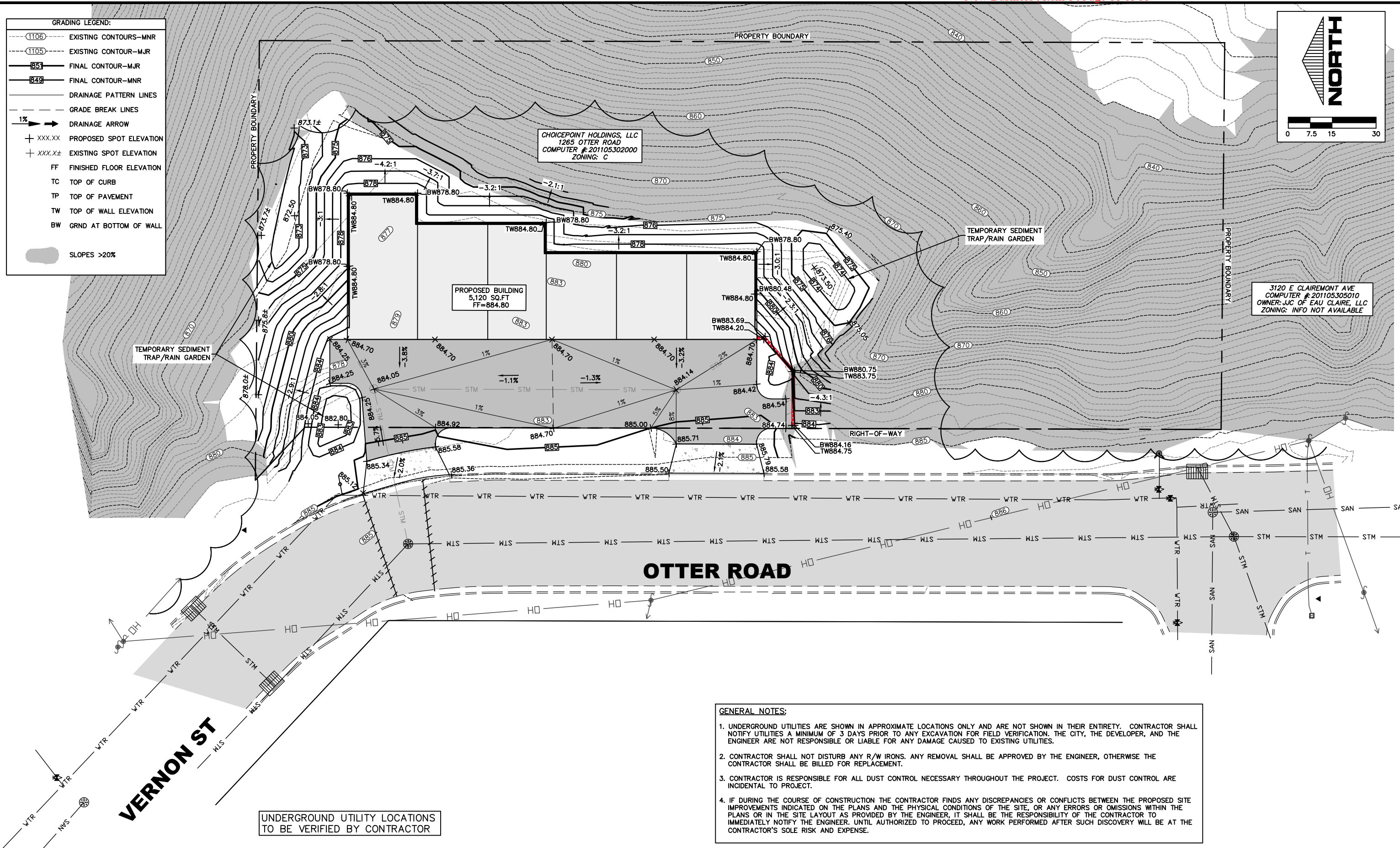
DWG NAME
19269 PG2
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DATE
1/2020

2
6



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 19269		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 info@ae-conc.com COPYRIGHT 2020 AEC LLC.	SITE PLAN	OTTER ROAD STORAGE CHOICEPOINT HOLDINGS LLC OTTER ROAD ALTOONA, WI	DWG NAME 19269 PG3 SITE	3
					DATE 1/2020	6



CHOICEPOINT HOLDINGS, LLC
 1265 OTTER ROAD
 COMPUTER #: 201105302000
 ZONING: C

PROPOSED BUILDING
 5,120 SQ.FT
 FF=884.80

3120 E CLAIREMONT AVE
 COMPUTER #: 201105305010
 OWNER: JJC OF EAU CLAIRE, LLC
 ZONING: INFO NOT AVAILABLE

OTTER ROAD

VERNON ST

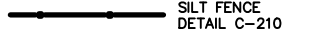
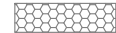



UNDERGROUND UTILITY LOCATIONS
 TO BE VERIFIED BY CONTRACTOR

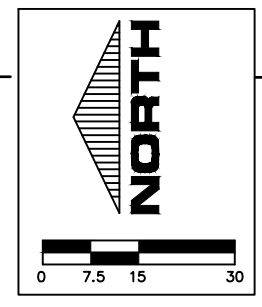
- GENERAL NOTES:**
1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 2. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 3. CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
 4. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 19269		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 Info@ae-conc.com COPYRIGHT 2020 AEC LLC.	GRADING PLAN	OTTER ROAD STORAGE CHOICEPOINT HOLDINGS LLC OTTER ROAD ALTOONA, WI	DWG NAME 19269 PG4 GRADE	4
					DATE 1/2020	6

EROSION CONTROL LEGEND

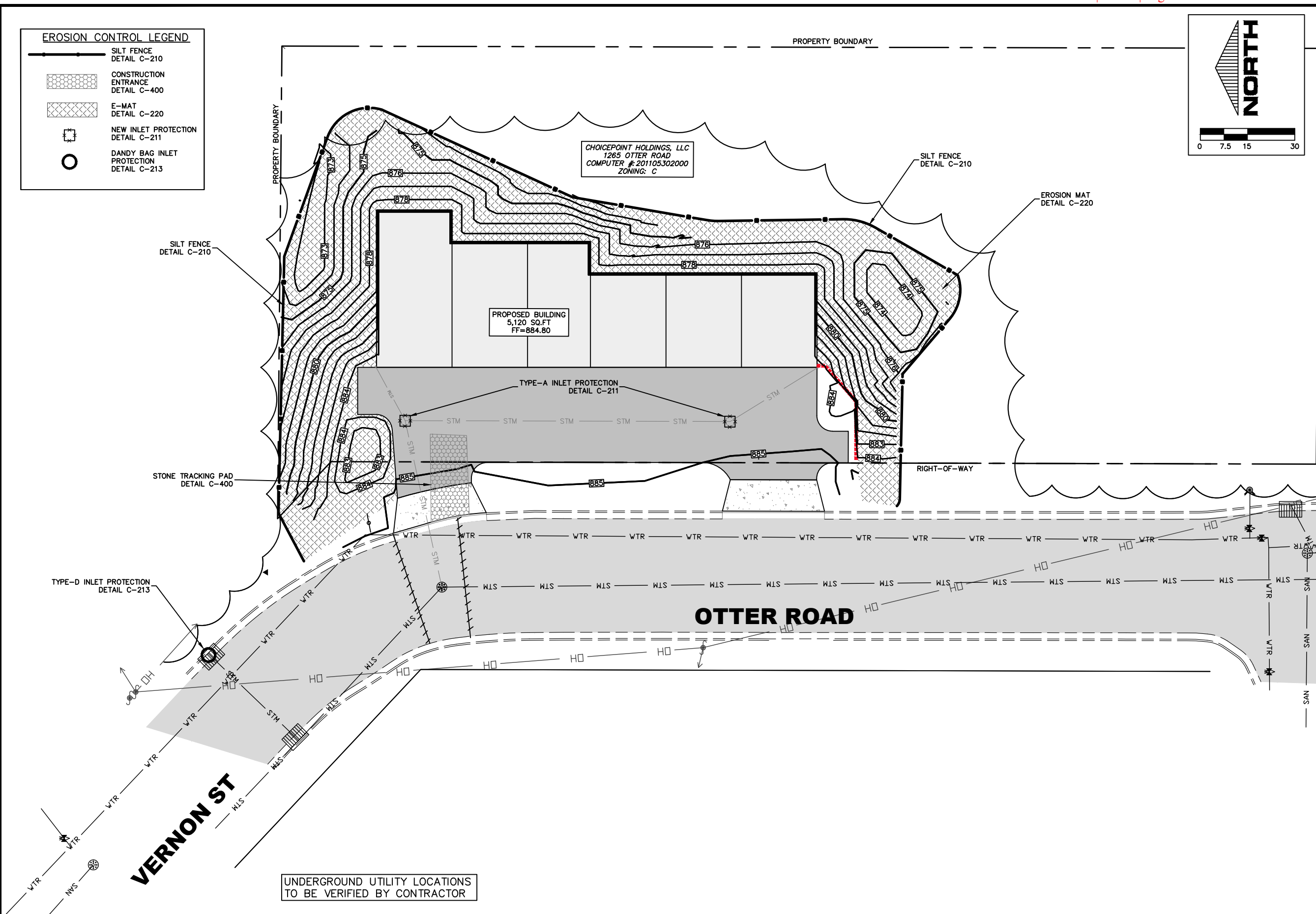
-  SILT FENCE
DETAIL C-210
-  CONSTRUCTION
ENTRANCE
DETAIL C-400
-  E-MAT
DETAIL C-220
-  NEW INLET PROTECTION
DETAIL C-211
-  DANDY BAG INLET
PROTECTION
DETAIL C-213



THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION THAT IS COMPLEMENTARY TO THIS PLAN.

EROSION CONTROL NOTES:

1. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
2. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
3. CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE. MAINTENANCE TO BE PERFORMED AS NEEDED TO MAINTAIN EROSION CONTROL.
4. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION, MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
5. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECH. STANDARD #1060.
6. TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
7. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECH. STANDARD #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. REPAIR BREAKS OR GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY.
8. INSTALL AND MAINTAIN FILTER SOCKS OR BIO-LOGS OR EROSION LOGS IN ACCORDANCE WITH WDNR TECH. STANDARD #1071. EROSION LOGS SHALL BE CONSTRUCTED AT ALL PIPE OUTLETS UNTIL GRADING IS COMPLETE AND RIP RAP HAS BEEN INSTALLED.
9. GRADED SURFACES SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF RUTS, DEPRESSIONS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC. AS GRADING IS COMPLETED, EROSION LOGS, EROSION MAT, AND RIP RAP SHALL BE INSTALLED.
10. RESTORATION SHALL BE EXECUTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
11. MAINTAIN EROSION CONTROL UNTIL 100% VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE). FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL IN PLACE OF STRUCTURAL MEASURES.
12. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, AND OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
13. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECH. STANDARD #1068.
14. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WDNR. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.



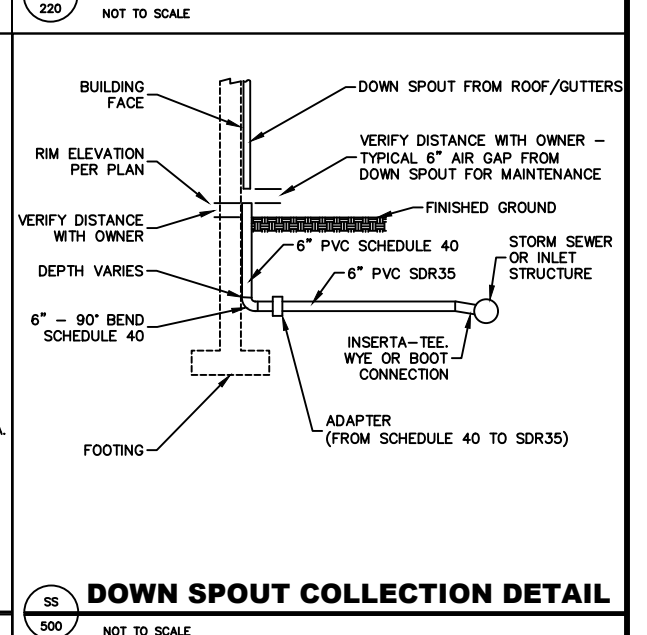
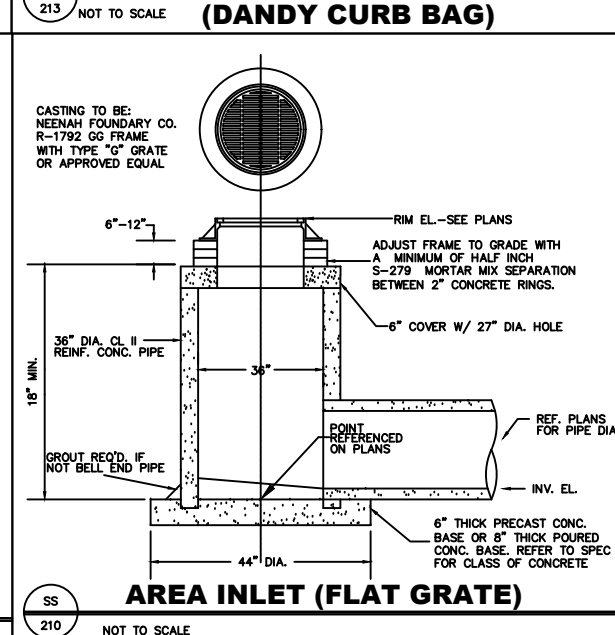
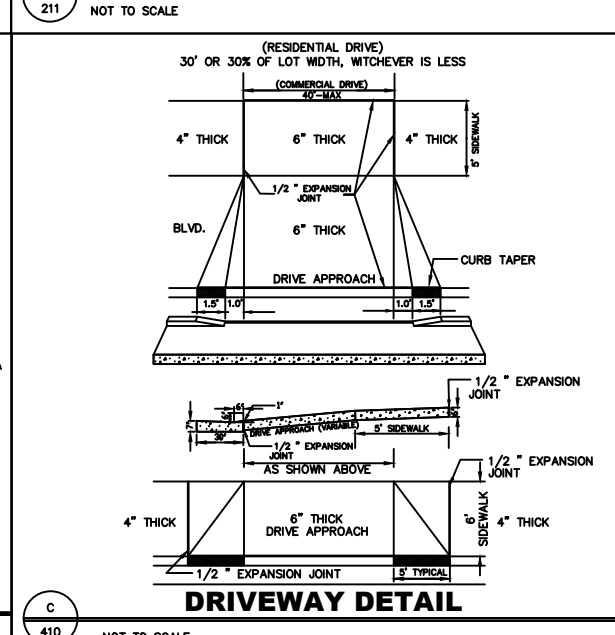
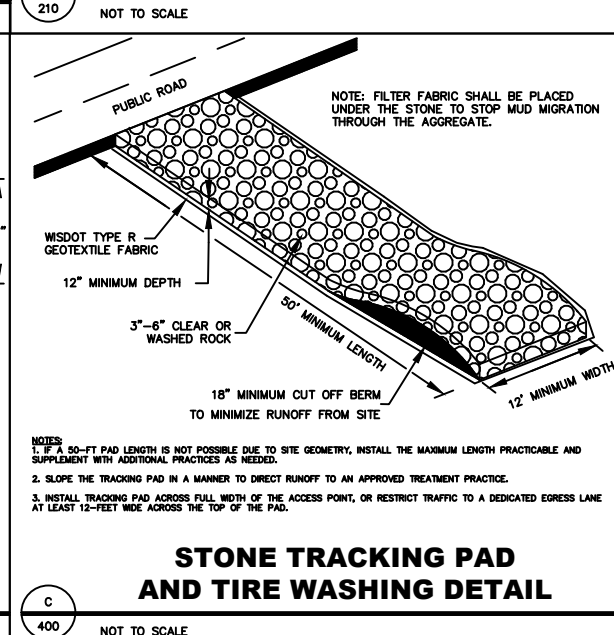
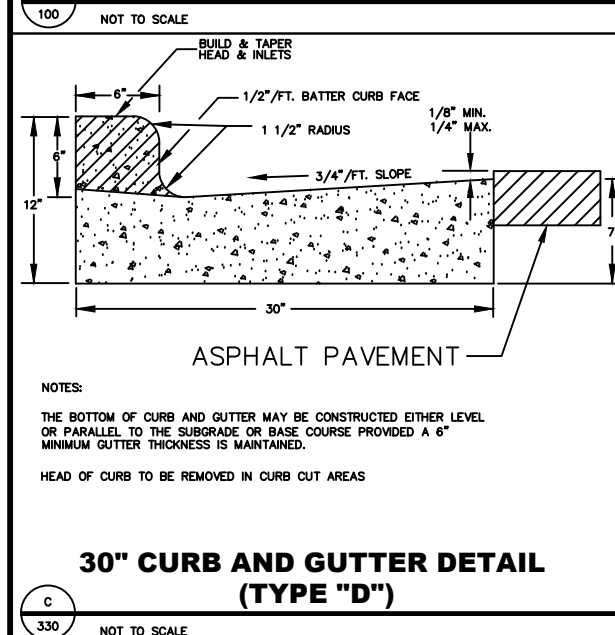
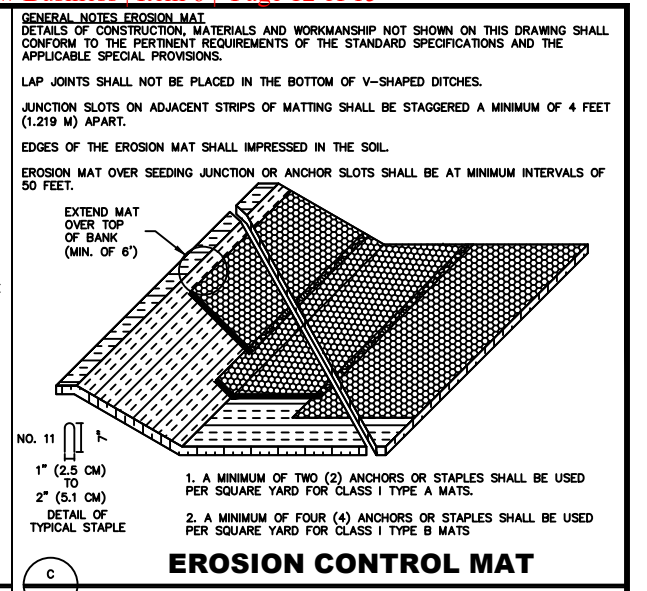
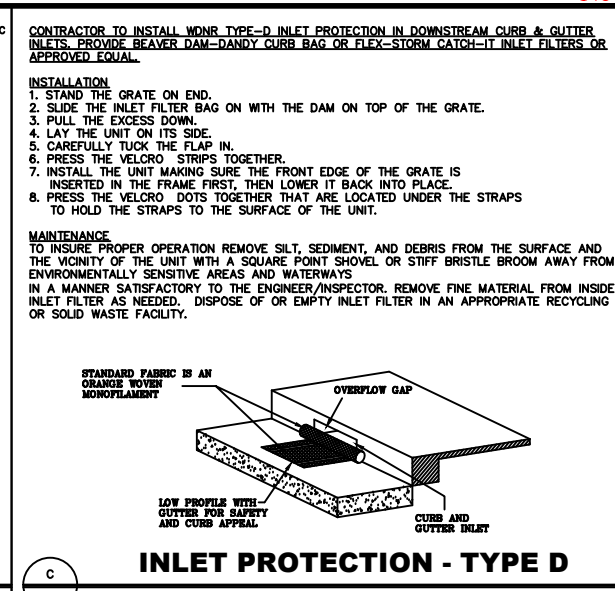
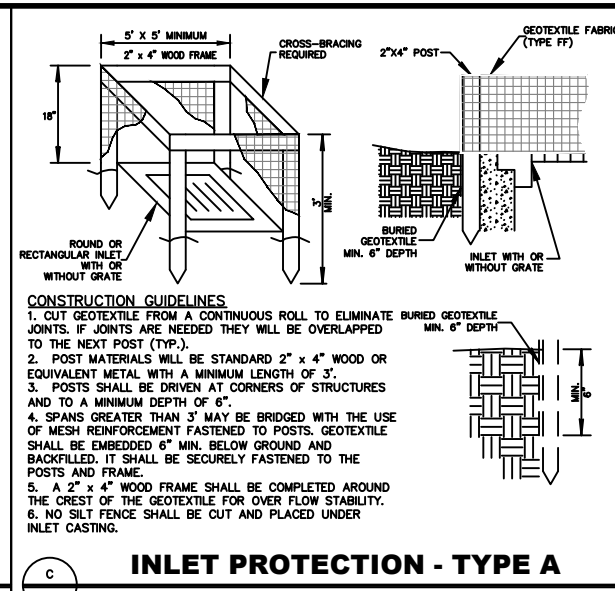
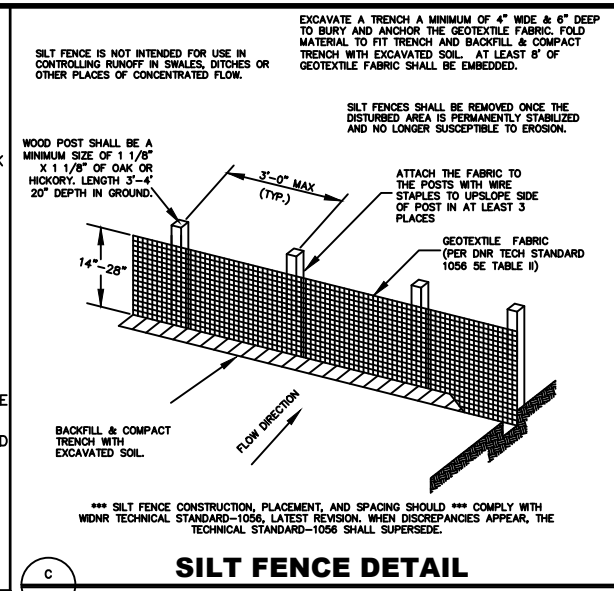
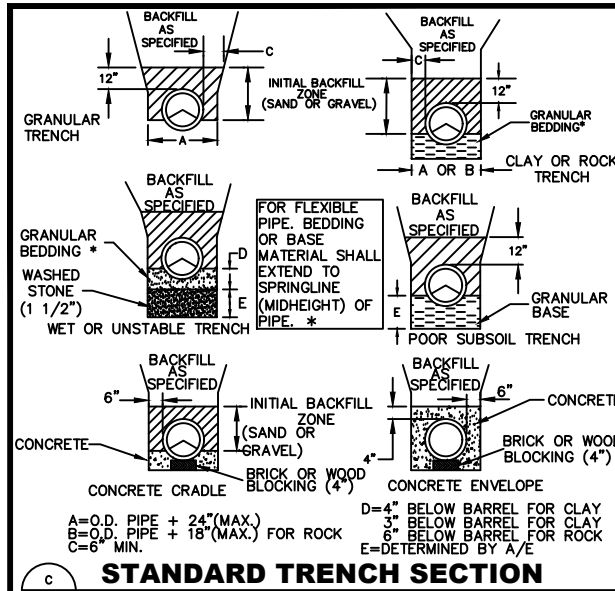
CHOICEPOINT HOLDINGS, LLC
 1265 OTTER ROAD
 COMPUTER # 201105302000
 ZONING: C

PROPOSED BUILDING
 5,120 SQ.FT
 FF=884.80

UNDERGROUND UTILITY LOCATIONS
 TO BE VERIFIED BY CONTRACTOR

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

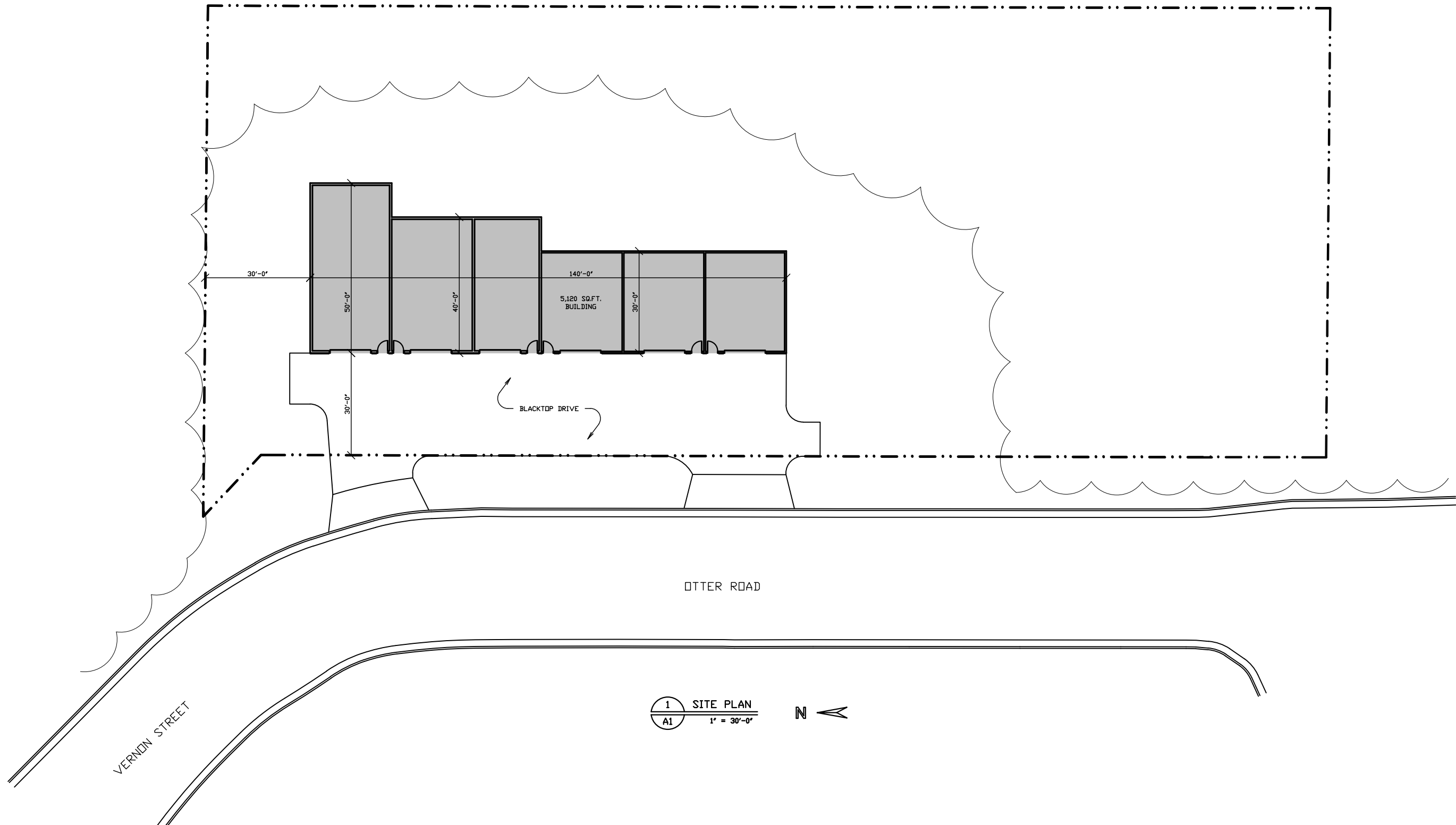
PROJ. NO. 19269		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 info@ae-conc.com COPYRIGHT 2020 AEC LLC.	EROSION CONTROL PLAN	OTTER ROAD STORAGE CHOICEPOINT HOLDINGS LLC OTTER ROAD ALTOONA, WI	DWG NAME 19269 PG5 EROSION 5 DATE 1/2020 6
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NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED	PROJ. NO. 19269	ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 info@ae-conc.com COPYRIGHT 2020 AEC LLC.	DETAIL	OTTER ROAD STORAGE CHOICEPOINT HOLDINGS LLC OTTER ROAD ALTOONA, WI	DWG NAME 19269 PG6 DETAILS DATE 1/2020	6 6
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ROBERT JOHNSON
5201 STONEWOOD DRIVE
EAU CLAIRE, WI 54703
CELL: (715) 828-8330

OTTER ROAD STORAGE
EAU CLAIRE, WI



1 SITE PLAN
A1 1" = 30'-0" N

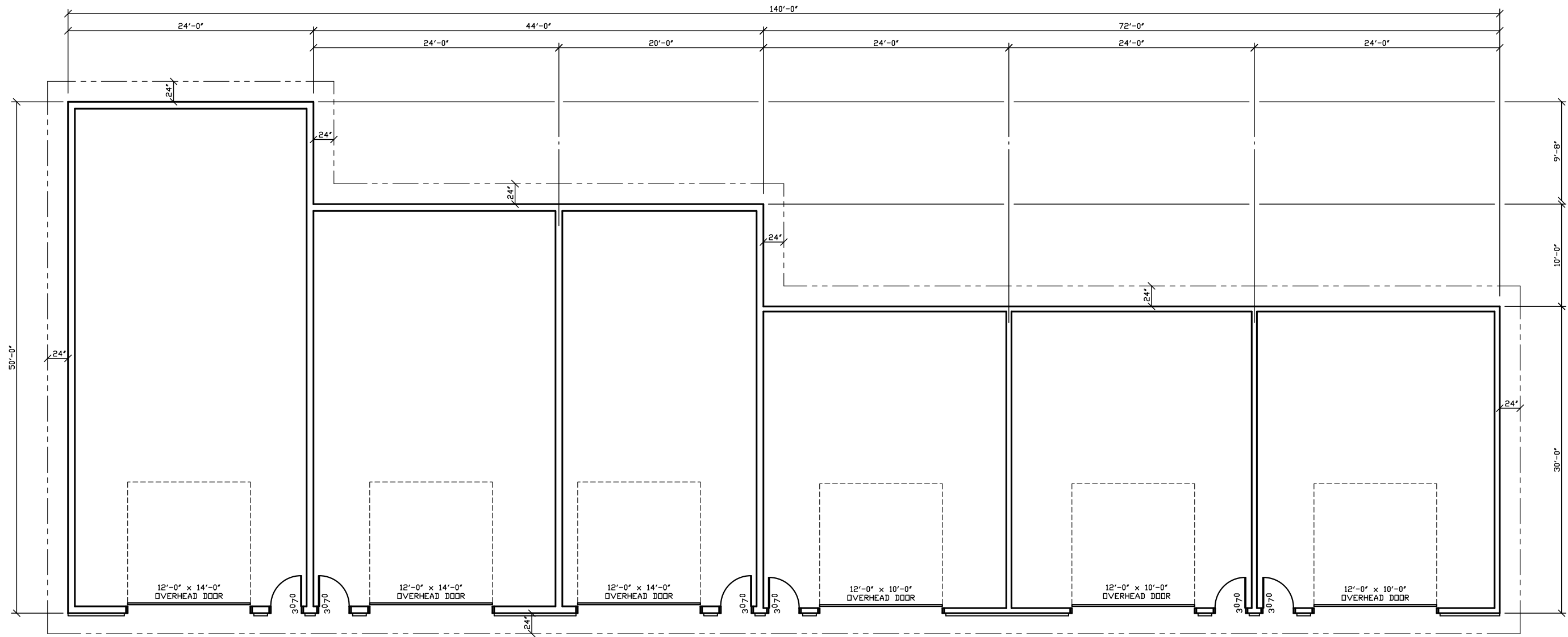
ORIGINAL:

12-30-19

REVISIONS:

A1

1 OF 3



1 MAIN FLOOR PLAN
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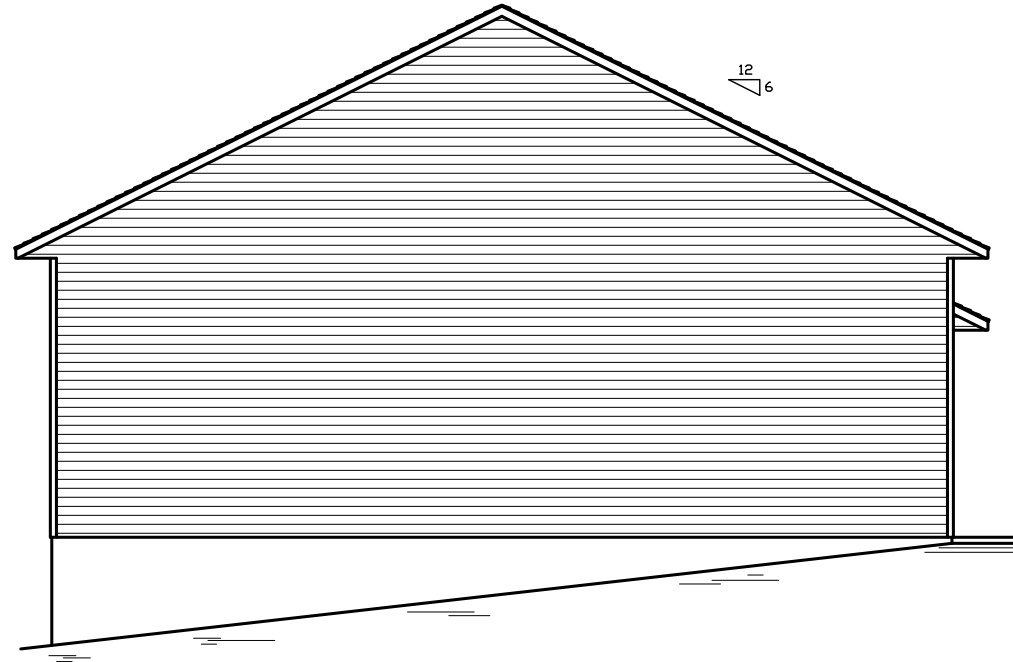
2 WEST ELEVATION
 A2 3/32" = 1'-0"

ROBERT JOHNSON
 5201 STONEWOOD DRIVE 54703
 EAU CLAIRE, WI
 CELL: (715) 828-8330

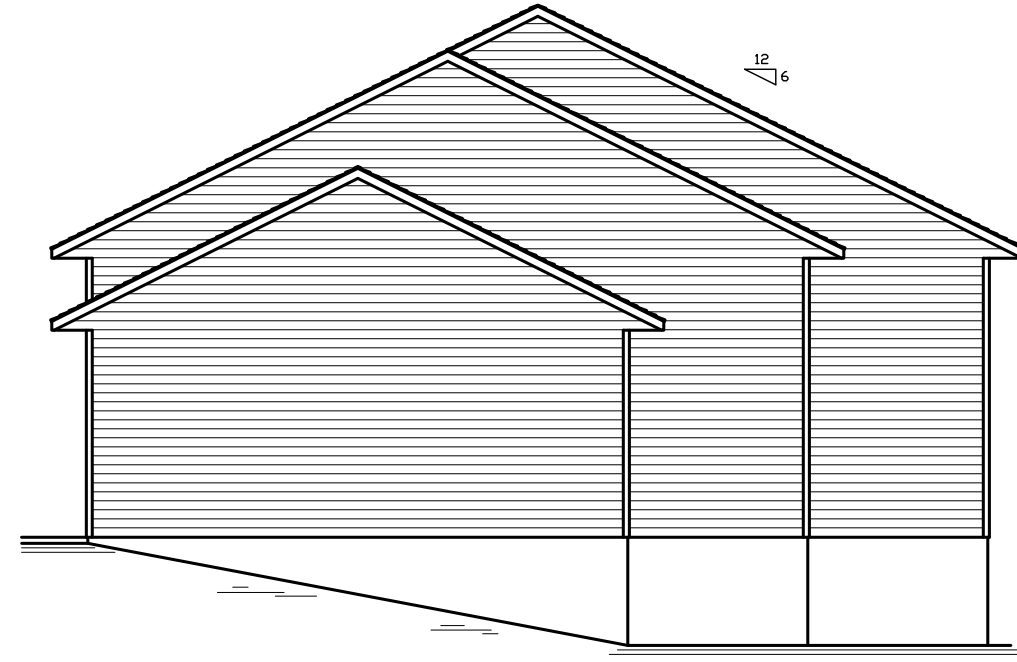
OTTER ROAD STORAGE
 EAU CLAIRE, WI

ORIGINAL:
 12-30-19
 REVISIONS:

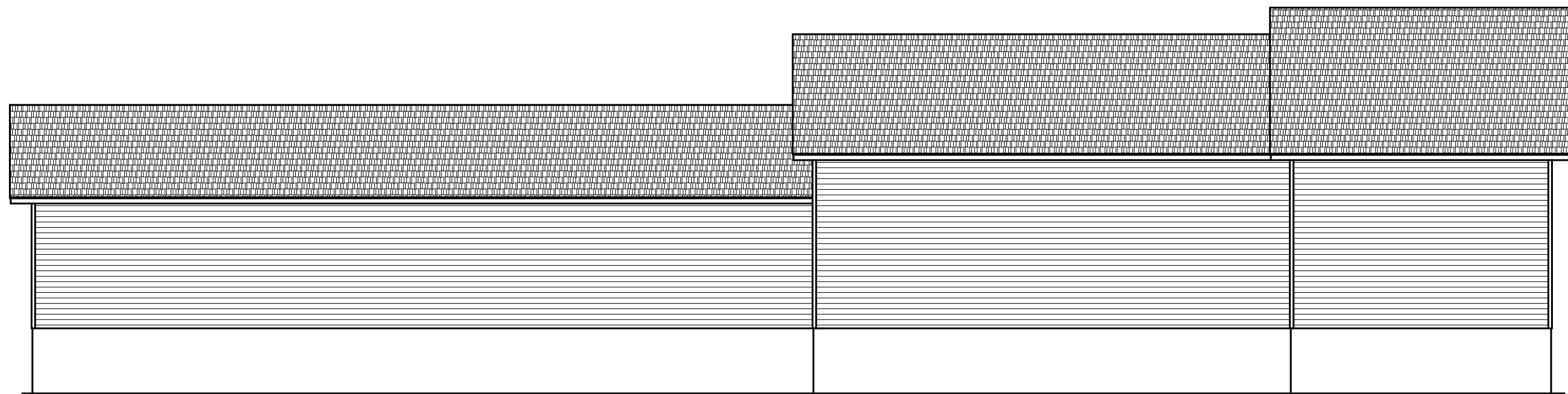
A2
 2 OF 3



1 NORTH ELEVATION
A3 3/32" = 1'-0"



2 SOUTH ELEVATION
A3 3/32" = 1'-0"



3 EAST ELEVATION
A3 3/32" = 1'-0"

ROBERT JOHNSON
5201 STONEWOOD DRIVE
EAU CLAIRE, WI 54703
CELL: (715) 828-8330

OTTER ROAD STORAGE
EAU CLAIRE, WI

ORIGINAL:
12-30-19
REVISIONS:

THE CITY *of* *Altoona*

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 7 – Discuss/consider development of property within the Extraterritorial Jurisdiction.

See Enclosed:

- Staff Report 20-01C “Future Development Area – Planert”

As you know, the City of Altoona exercises its Extraterritorial Jurisdiction (ETJ) powers provided by WI Statutes pertaining to land division in order to, among other goals, guide and control orderly and efficient development land and provision of infrastructure. The ETJ extends 1.5 miles from the City’s corporate boundary. The principal provision is that no new parcels less than 10 acres may be created.

One of the purposes of exercising this power is to prevent low-density unsewered subdivisions in the City’s future growth and development areas. These developments effectively create a barrier constraining City growth, preventing adjacent and contiguous development at densities appropriate and efficient for the provision of municipal utilities and public services. These developments can “wall off” a city from growing in certain directions, and potentially become reasonably land-locked.

City staff have recently been engaged with a property owner and a potential developer of 30.39-acre area located near but not adjacent to the City’s boundary, north of the Altoona Elementary School on County Highway SS. The property is further illustrated and described in the enclosed Staff Report.

There are constraints to serving this area with municipal utilities and additional variables to consider, including if the City should grow north of the railroad, and what the reasonably anticipated capacity for future development in that vicinity. This is a strategic consideration that warrants discussion and direction by the Plan Commission and City Council.

Suggested Motion:

PLANNING DEPARTMENT

20-01C

Future Development Area - Planert

2020 January 15

TO: City of Altoona City Council
City of Altoona Plan Commission

FROM: Joshua Clements AICP, City Planner

CC: Mike Golat, City Administrator
Dave Walter, Director of Public Works & City Engineer

RE: Future Development Area Discussion

Attached: Preliminary Sewer Service Area
Future Development Areas

The City of Altoona has experienced a sustained period of growth since 2011. Permits for 182 dwelling units were issued in 2019 alone¹, bringing the City's total to approximately 3,984². Overall, the City has added approximately **31.4** percent of the total permitted dwelling units since 2010.

Due to increased demand and inquiries from owners and developers, City Staff are examining or re-examining redevelopment areas within, as well as future development areas nearby the City to determine where and how future growth may be accommodated. To the degree possible, City staff attempt to get and stay ahead to ensure orderly, efficient and planned development. Future peripheral development may proceed generally: (1) east along Highway 12; (2) south along Mayer Road; and (3) northeast in the vicinity of County Highway SS. Each avenue presents a variety of constraints due to topography, existing development, utility capacity, and landowner preferences that impact availability, cost, use, feasibility and timing to varying degrees. In addition, availability of land, supply/demand of housing and commercial space, and overall development dynamics in the broader region are in play. A preliminary illustration of these three development areas is attached to this Report.

City staff have recently responded to an inquiry regarding approximately **30.39 acres** located on the north side of Nine Mile Creek Road (County SS), approximately 400 feet east of the County Highway KB railroad bridge crossing. This property has been discussed at very conceptual levels occasionally over the past five years. However, development interests are likely real and present at this time. Given development constraints in this general area, and the anticipated logistics to serve this vicinity with municipality utilities, staff determined that this discussion should be brought to the Plan Commission and City Council.

Utility service to this area would require directional drilling under the railroad, and a sewage pump station. A preliminary illustration of this service area is attached to this Report. The purpose of this Report is to briefly describe the context and variables as they are presently known, given available information, and potential scenarios.

The City has completed a variety of sewer service area studies over the past many years, one of the technical tools to inform the feasibility of future development. The utility study conducted in conjunction with the development of the Altoona Elementary School to determine the size of utilities in that area included the subject property as a

¹ Many of the units permitted in 2019 are currently under construction, and nearly all will be complete by the end of 2020. "Units permitted" are therefore not precisely the number of units available for occupancy by the end of that permitting year.

² Total units is based upon U.S. Census figures for year 2000, with actual permits issued tracked since that year.

potential future expansion area. To briefly summarize, the pump station that is located within the Altoona Elementary School property has been sized appropriately to incorporate an additional pump so as to allow growth north of the railroad. This would require a corresponding pump in that north service area, with a preliminary location identified near the north end of the subject property for maximum service area (see attached preliminary service area illustration). Sewage collected by the existing station is pumped over the hill to Curt Manufacturing and connecting to the main interceptor line within the Highway 12 corridor. A detailed cost/benefit analysis should be conducted prior to major utility service area extensions such as this one, to ensure the projected utility rate and property tax revenue is sufficient for adequate operation and long-term upkeep of the system.



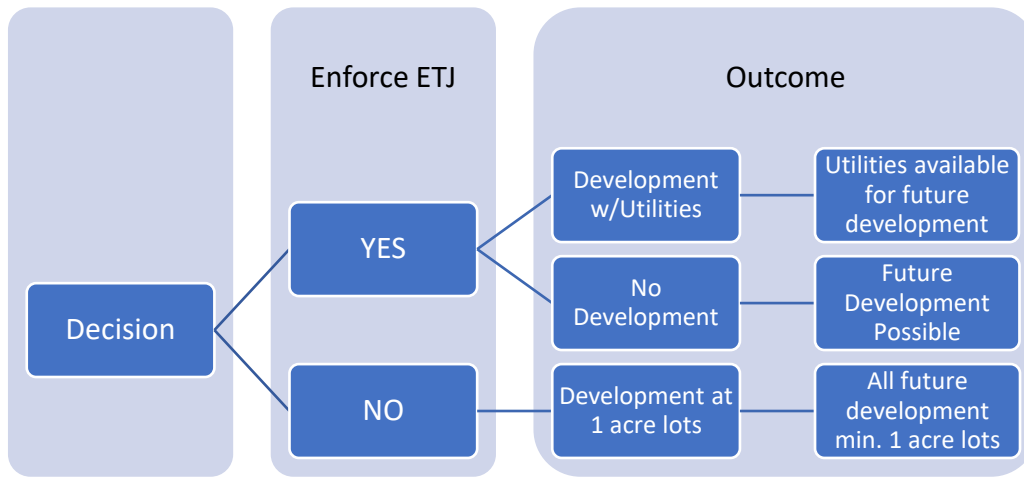
Above: Subject Parcel (2018 Eau Claire County Aerial Imagery)

The City guides or otherwise controls the orderly and efficient development of land and growth of the City to pursue public vision, goals and objectives directly and indirectly through a variety of means, including but not limited to the Comprehensive Plan, Official Map, zoning, infrastructure planning, and extraterritorial jurisdiction (ETJ) authority regarding land division. The City may also directly purchase and control property.

The minimum lot size allowed through the exercise of the City's extraterritorial jurisdiction is **ten acres**. The purpose is to ensure lots remain large enough to be developed and served by City utilities in the future, and to generally guide development to occur within the City. Rural subdivisions with private utilities effectively prohibit and potentially "cut off" future expansion of the City.

The City has an ETJ provision that permits exceptions to the ten acre standard if the land owner agrees to enter into an agreement (contract) that requires annexation and connection to municipal utilities once the property is adjacent to the city boundary. This provision was created in recognition that, in some circumstances, land divisions relatively far from the City, or of existing developed property, could occur in a manner that would not materially

impede orderly development in the future if the agreement is made. In the opinion of staff, the exercise of this provision is not appropriate in this context.



The question is not if the property will be developed, but under what standards. If the City Council chooses **not** to exercise its extraterritorial jurisdiction, the property will almost certainly become developed at the County minimum of one-acre lots. A conceptual plat prepared by one surveyor and provided to City Staff would result in 20 lots on this subject parcel. This scenario would all but foreclose any future City annexation or utility extensions in that direction.

If the City **enforces** its ETJ provision, two scenarios could occur. One, a developer determines the feasibility, in conjunction with the City, to serve the area with municipal utilities, enabling City-level lot sizes and potentially multi-family building types. This might result in between 40 to greater than 60 single-family lots on this parcel, depending upon arrangement, and service availability to nearby properties (see illustration and table on the following page). If utilities are not available, this parcel could only be subdivided into up to three parcels for three homes, likely not economically attractive and significantly impacting property value. Therefore, if ETJ is enforced and utilities are cost prohibitive, the property may continue in the current use and remain available for future development.

Consideration of extending utilities to this area then should include an analysis and discussion of what the service area would be, what properties could be served within reason, both existing homes and future development. At a basic level, the question is: if a pump station with reasonable capacity were placed within the development area, what properties could be served by gravity service, without having to add additional pump stations. Pump stations are the moving pieces that require significant up-front cost, ongoing maintenance and operations, and are limiting factors for both service area and capacity. “Reasonable” means what may be within financially available means, as pumps could be bigger and deeper, and pipes larger, but past a certain point the cost becomes prohibitive for the return. Therefore, the question is not just if this one property can be served with utilities and at what cost, but what does an initial service area and land use scenario look like.

The following series of potential land use scenarios include very preliminary analysis of development potential given known information. Development shown does not correspond to any confirmed interest or intent on the part of any existing property owners beyond the subject parcel. There are five primary developable parcels examined. Many additional parcels in the service area may be subdivided into one or more additional lots if utilities became available.



Map ID	Parcel Area (Acres)			Low End (# Units)			Mid (# Units)			High End (# Units)			Valuation			Valuation per Acre		
	Total	Constraints	Net	S.F.	TH	MF	S.F.	TH	MF	S.F.	TH	MF	Low	Mid	High	Low	Mid	High
1	30.39	4	26.39	30			40	20		6	60	32	\$8,250,000	\$15,000,000	\$16,850,000	\$271,471	\$493,583	\$554,459
2	6.18		6.18			24							\$2,400,000	\$3,600,000	\$4,800,000	\$388,350	\$582,524	\$776,699
3	33.8	12	21.8	26			18	18			50	48	\$7,150,000	\$8,550,000	\$10,000,000	\$211,538	\$252,959	\$295,858
4	4.88		4.88	8			12			3	12		\$2,200,000	\$3,300,000	\$3,225,000	\$450,820	\$676,230	\$660,861
5	4.13	1	3.13	4			6					16	\$1,100,000	\$1,650,000	\$1,600,000	\$266,344	\$399,516	\$387,409
			62.38	68		24	76	38	36	9	122	96	\$21,100,000	\$32,100,000	\$36,475,000			

Value Assumptions:	
Single Family	\$275,000
Twin Home	\$200,000
Multi-Family	\$100,000

The above table reflects conservative development scenarios, “low”, “mid”, and “high” based upon potential land uses and lot arrangements. The “high” scenario utilizes more twin homes with some multi-family. The illustrated densities in the “high” scenario are less than are proposed for the C&E Wurzer development adjacent to Highway 12, and far less than corresponding zoning would permit (approx. 11,000 sf per single-family, 6,000 sf per TH unit, and 6- to 8- units per acre for multi-family). Value assumptions are conservative and based upon projects completed within the past two years.

For gross comparison, the 5 parcels are approximately 62.4 acres, not including wetland and steep slopes, with a “high” scenario of 227 units. The C&E Wurzer development is 54.4 acres including storm water ponds and roads, expected to yield 242 units.

Additional Considerations

While this area is not presently served by public utilities, the proximity to the Altoona Elementary School is desirable.

The “high” development scenario illustrated would correspond to between two and five years of housing absorption at recent rates (including only those parcels examined).

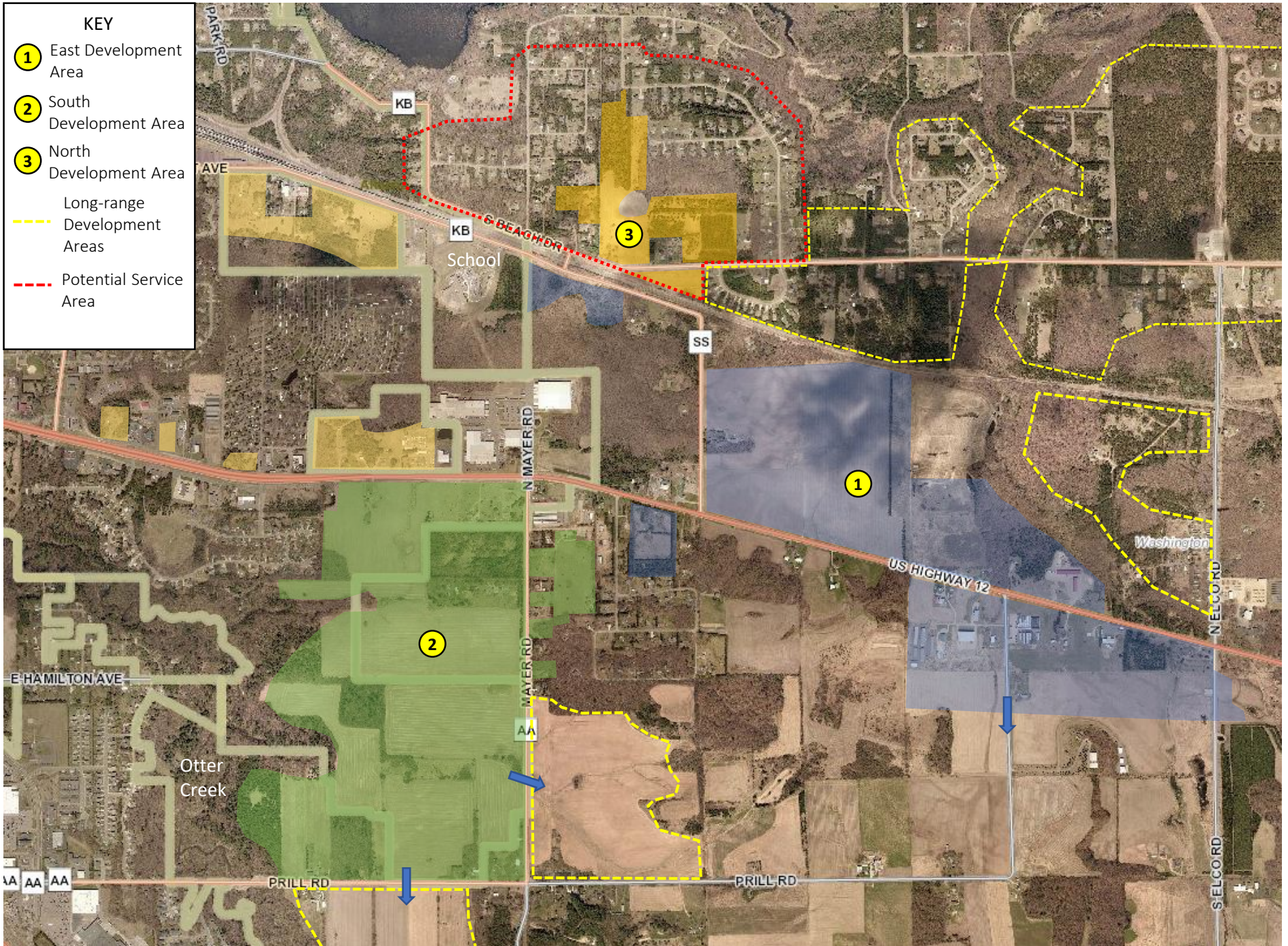
There are 112 existing homes and at least 7 vacant parcels (each between 1 and 1.5 acres in size) within the potential utility service area (see attached). Five of these homes are within the City (on South Beach Drive). A significant percentage of these 112 lots with existing homes could be subdivided.

Transportation access to the area is limited to:

- South Beach Road, connecting to Lake Road, to the west;
- Bartlett Avenue (County KB) and Nine Mile Creek Road (SS) to the south, across the narrow HW KB bridge over the railroad;
- Nine Mile Creek Road (County SS) to the east.

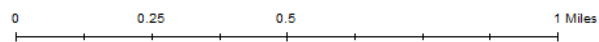
- Any development scenario of these parcels, in the City or as rural subdivisions, will increase traffic in these corridors.
- Connecting arterials are existing County Highways (use of existing infrastructure).
- The County HW KB bridge is a regional “pinch point”.

Pedestrian and bicycle facilities to this area do not exist. An extension of the Lake Road Trail along Beach Road to the HW KB bridge has been designed and was nearly initiated about six year ago. If revisited, that project would provide a direct connection as well as benefit the City as a whole. Improvements on the HW KB bridge could facilitate a relatively short connection (approx. 1,500 feet) to the Bartlett Avenue Trail, if topographical conditions can be overcome.



KEY

- 1** East Development Area
- 2** South Development Area
- 3** North Development Area
- Long-range Development Areas
- Potential Service Area





THE CITY of *Altoona*

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(V) OLD BUSINESS

(VI) NEW BUSINESS

ITEM 8 – Discuss / consider recommendation to Council regarding Resolution 1B-20 confirming parkland dedication fees for 2020.

See Enclosed:

- Staff Report 20-01D “Parkland Dedication”
- Proposed Resolution 1B-20

Providing adequate parkland is widely accepted as a fundamental function of government throughout the U.S. One method of ensuring provision of adequate and desirable public lands is to require dedication of land or impact fees to support acquisition of property. This tactic is practiced by many communities throughout Wisconsin, and is specifically enabled through several provisions within Wisconsin Statutes.

As further summarized in the enclosed Staff Report 20-01D, Altoona has required parkland dedication since at least 1981. The most recent revision to that area of municipal code was 2002 (Ord 4A-02), wherein, among other things, a procedure and formula was established to annually adjust fees in lieu of land dedication. This procedure stipulates that the City Council annually consider a Resolution where those fees would be illustrated.

The enclosed proposed Resolution 1B-20 refers to existing municipal code and State Statute to enumerate the parkland dedication fees for 2020. The resolution does not change any existing ordinance, code or policy. Despite the Council having not considered a similar resolution in many years, the parkland dedication requirements have been enforced.

The Parks Board will discuss this Resolution at their meeting scheduled for January 20th at 6:00pm.

Staff recommends approving the Resolution confirming the parkland dedication fees for 2020. Staff recommends examining the sufficiency of the dedication provision and existing fee levels in the code in relationship to achieving the parkland service levels outlined in the Comprehensive Plan and Parks Plan (once adopted).

Suggested Motion: I move to recommend/not recommend approval of Resolution 1B-20 confirming parkland dedication fees.

PLANNING DEPARTMENT

20-01D

Parkland Dedication

2020 January 13

TO: City of Altoona City Council
City of Altoona Plan Commission
City of Altoona Parks Board

FROM: Joshua Clements AICP, City Planner

CC: Mike Golat, City Administrator
Dave Walter, Director of Public Works & City Engineer

RE: Parkland Dedication

One method of ensuring provision of adequate and desirable public lands is through the required dedication of parkland and other open spaces during the development process. These dedications and/or impact fees are a method to assign a proportionate share of costs the development imposes upon the community. This exercise of police power is similar to reserving land for public right-of-way, utilities, or other public facilities.

The parkland dedication provision is contained in Altoona Municipal Code Chapter 18.08 of [Title 18: Subdivisions and Land Divisions](#). The minimum dedication requirement is 5% of the total area of a subdivision. Where the subdivider and City agree land dedication is not in the best interest of the City, a fee shall be required in lieu of dedication. There is an option to combine land dedication and fee with a formula provided by ordinance.

The land dedication provision is triggered when a subdivision (plat or certified survey) is proposed. The specific powers to condition land subdivision approval upon provision of land dedication or fee is provided by [WI Stats § 236.45\(6\)](#)¹. Previously, Altoona Municipal Code allowed for the fee to be paid at the time of sale of a lot or issuance of building permit, recorded as a lien against the property². Although the City Code no longer includes this provision, this option exists in WI Stats³.

The Code further requires that the Council “shall annually, by resolution, establish the total value required for dedicated parkland and/or fees” and shall consider the advice of a Parkland Dedication Committee (18.08.025). This has not been accomplished in recent years.

History

The parkland dedication of five percent of the total area has existed since at least **1981** (Ord 2A-81), where the corresponding fee at that time was \$200 per single-family lot, and \$50 per dwelling unit of multi-family. The annual escalation formula of 50% of the annual percentage growth of equalized value in Eau Claire County from the previous year, was added in 2000 (Ord. 4A-02) when the \$200 fee was increased to \$300, and multi-family fee changed to \$150⁴.

¹ <https://docs.legis.wisconsin.gov/statutes/statutes/236/IX/45/6>

² Removed with Ordinance 4A-02.

³ <https://docs.legis.wisconsin.gov/statutes/statutes/236/IX/45/6/c>

⁴ Based upon U.S. inflation calculators, \$200 in 1981 translates to \$565.91 in 2019. However, change in land value/costs may be different over that period.

Fee in Lieu of Dedication

The following table represents the fee in lieu of dedication at established 2000 levels, adjusted to the current year per the method provided by ordinance.

Fee in Lieu of Dedication

Year	EC County Equalized Value	Change	50% of change	Park Land Fee	
				Per Lot	Multi-Unit Per Unit
2000	\$ 4,135,030,600			\$ 300.00	\$ 150.00
2001	\$ 4,508,935,400	\$ 373,904,800	4.52%	\$ 313.56	\$ 156.78
2002	\$ 4,820,083,600	\$ 311,148,200	3.45%	\$ 324.38	\$ 162.19
2003	\$ 5,177,368,500	\$ 357,284,900	3.71%	\$ 336.40	\$ 168.20
2004	\$ 5,834,287,700	\$ 656,919,200	6.34%	\$ 357.75	\$ 178.87
2005	\$ 5,856,977,400	\$ 22,689,700	0.19%	\$ 358.44	\$ 179.22
2006	\$ 6,178,679,300	\$ 321,701,900	2.75%	\$ 368.29	\$ 184.14
2007	\$ 6,454,280,300	\$ 275,601,000	2.23%	\$ 376.50	\$ 188.25
2008	\$ 6,697,577,200	\$ 243,296,900	1.88%	\$ 383.60	\$ 191.80
2009	\$ 6,730,079,200	\$ 32,502,000	0.24%	\$ 384.53	\$ 192.26
2010	\$ 6,686,311,700	\$ (43,767,500)	-0.33%	\$ 383.28	\$ 191.64
2011	\$ 6,727,328,500	\$ 41,016,800	0.31%	\$ 384.45	\$ 192.23
2012	\$ 6,722,050,200	\$ (5,278,300)	-0.04%	\$ 384.30	\$ 192.15
2013	\$ 6,907,862,700	\$ 185,812,500	1.38%	\$ 389.61	\$ 194.81
2014	\$ 7,173,688,100	\$ 265,825,400	1.92%	\$ 397.11	\$ 198.55
2015	\$ 7,499,941,900	\$ 326,253,800	2.27%	\$ 406.14	\$ 203.07
2016	\$ 7,850,311,700	\$ 350,369,800	2.34%	\$ 415.63	\$ 207.81
2017	\$ 8,295,565,000	\$ 445,253,300	2.84%	\$ 427.41	\$ 213.71
2018	\$ 8,754,801,800	\$ 459,236,800	2.77%	\$ 439.24	\$ 219.62
2019	\$ 9,220,492,300	\$ 465,690,500	2.66%	\$ 450.93	\$ 225.46

Official Map

Parkland is one of the elements specifically allowed through the City’s Official Map powers described in [WI Stats § 62.23\(6\)\(c\)](#)⁵. This enables a City to proactively identify specific parcels, features, corridors, or other areas to be so reserved within the City and within the extraterritorial jurisdiction (1.5 miles from city boundary).

The City subdivision title requires that, when a land division is proposed, land within those boundaries identified as parkland shall be dedicated to the City, upon confirmation and acceptance by the Council Council by recommendation of the Plan Commission and Parks Board (18.08.048). If additional land is identified and reserved through the Official Map or Master Plan that is greater than the minimum lands required (5%), the owner shall reserve the identified lands for a period not less than two years through agreement for subsequent acquisition by the City (18.08.070).

Determination

The City Council “shall have the authority to determine the suitability and adequacy of parkland, conservancy areas, and recreational trails proposed for dedication”, upon evaluation of dedication requirements and

⁵ <https://docs.legis.wisconsin.gov/statutes/statutes/62/1/23/6>

relationship of adopted plans and maps (18.08.048). The suitable and dedication of such land shall be subject to approval by the Plan Commission (18.08.015).

Further, “drainageways, wetland, or areas reserved for streets shall not be considered as satisfying land dedication requirements” (ibid). This should be interpreted in a manner that storm water facilities shall not contribute toward the minimum dedication. In addition, those areas that are unbuildable or have limited availability for recreation, such as wetlands and steep slopes, should not contribute toward parkland dedication at the same rate due to limited recreation potential, but may be considered for contributing toward conservancy areas for other valuable purposes.

Since the Title refers to the Plan Commission and Council for similar duties with regard to determining suitable land dedication, staff recommends the Parks Board and Plan Commission each consider and recommend action to the Council.

Comprehensive Plan

The Comprehensive Plan (2009) is the principal policy document pertaining to the governance of land, development, transportation and other elements, consistent with WI Stats and case law. Section 2.3.2 includes the following as a Goal:

(6) Parks – The City will maintain a Five Year Park, Recreation & Open Space Plan to coordinate & prioritize long-term park and recreation improvements. The City encourages the connectivity of local park and recreational facilities with regional facilities, via bicycle trails or marked routes on existing roads. The City will require all proposed residential subdivision developments to dedicate land, or pay a fee in lieu thereof, for public parks, recreation, and open space acquisition and development (in accordance with State Statute).

The Plan also includes reference to National Recreation and Park Association recommendations “that most residents should be within a ten minute walk or 1/3 mile from a public park or open space area and communities should maintain an average of 12 acres of park and recreational land per 1,000 residents.” Although the Plan does not explicitly adopt those standards, inclusion in the Plan is suggestive of pursuing these goals⁶.

Rational Nexus

As noted earlier, the City of Altoona has required parkland dedication or fee in lieu since at least 1981. The State of Wisconsin subsequently adopted legislation in 1993 to govern impact fees ([§ 66.0617](#))⁷. Act 477, effective 2006, modified the eligible park facilities from the broadly described “parks, playgrounds and other recreational facilities” to “parks, playgrounds and land for athletic fields.”

Wisconsin Statutes require that impact fees bear a rational nexus to proportionate impact, and be based upon a needs assessment meeting standards defined by Statute. Staff is collecting examples of subdivision ordinances, parkland impact fee arrangements and associated fee studies. At this time, staff does not have a comprehensive collection of comparison materials on which to draw generalizations or more detailed recommendations.

Since impact fees must bear a rational relationship to proportionate impact, they must therefore not be levied to address existing deficiencies where they may exist. Therefore, it is understood that any new development and

⁶ The Comprehensive Plan includes additional goals, objectives and standards pertaining to parkland, trails, and other public spaces, including the Future Land Use Map, but it is not necessary or material to explore these further in this document.

⁷ <https://docs.legis.wisconsin.gov/statutes/statutes/66/VI/0617>

newly developed areas shall be arranged, conditioned, and carried out to meet all pertinent goals and standards, including adequate minimum parkland, characteristics and arrangement thereof.

Other Standards

In a brief examination of park planning practices, and as noted above, the National Recreation and Park Association recommends 12 acres per 1,000 persons. According to NRPA, the median parkland area per 1,000 residents for cities less than 20,000 in population is 11.8 acres among reporting member jurisdictions⁸. Parkland takes multiple forms and functions, with high-amenity parks such as River Prairie functioning differently and advancing different goals within the community than less developed conservency areas such as Centennial Park or Fairway Park.

Staff Recommendations

- (1) Consider adoption of a Resolution *confirming* parkland dedication fees, consistent with 18.08.025 (see table enclosed), as soon as practicable, and prior to approving a development agreement with a potentially affected property. Absence of such a resolution in recent years has not prevented the City from levying the fees consistent with the code. Such a resolution would not make any changes to existing ordinances.
- (2) Place the parkland dedication fee values, established by resolution, on the City Schedule of Fees (Ch. 3.08) upon the next revision to that Chapter (which is accomplished by Ordinance).
- (3) Annually consider a resolution confirming park dedication fee values for the following year as soon after equalized values are available, and in conjunction with annual updates to the City Schedule of Fees, typically in December.
- (4) Discuss revisiting and setting city-wide parkland standards, and consider conducting a study regarding the adequacy of existing parkland dedication requirements to meet these objectives. Parkland standards are recommended to be included in the ongoing Parks Plan and subsequently in the Comprehensive Plan. A parkland impact fee study was not in the City 2020 Work Plan, and should be accomplished soon after the Comprehensive Plan to operationalize those goal.

⁸ National Recreation and Park Association, 2019 Agency Performance Review. <https://www.nrpa.org/publications-research/research-papers/agency-performance-review/park-facilities/>. Accessed 2020-0113

THE CITY of *Altoona*

Resolution 2A-20
Confirming Parkland Dedication Fees for 2020

Whereas, the City of Altoona has required dedication of parkland, trails, and other public lands during the land subdivision and development process since at least 1981; and

Whereas, the Comprehensive Plan, Parks Plan and Official Map are utilized to determine goals, standards, characteristics and locations with regard to provision of parkland and associated facilities; and

Whereas, the provision of parkland and corresponding public facilities advance public health, safety and welfare; and

Whereas, providing high-quality parks and public spaces is and has been a cornerstone of the City's approach to pursuing high quality of life for its residents, supportive of economic development objectives, maintaining and preserving natural environments; and

Whereas, development of property represents a rational relationship to, and proportionate impact on, adequate and desirable provision of parkland; and

Whereas, Wisconsin Statutes § 236.45(6), § 62.23(6), and among other entries, confirm the City's jurisdiction to condition development upon adequate provision of parkland, fee in lieu of dedication, or combination thereof; and

Whereas, pursuant to Ordinance 4A-02 and Altoona Municipal Code Chapter 18.08, the City Council shall annually, by resolution, establish the total value required for dedicated parkland and/or fees required in lieu of dedication; and the code therein prescribes the annual adjustment formula; and

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Altoona does hereby confirm the value of fees in lieu of parkland dedication for 2020 shall be:

- (1) \$ 450.93 for each one-dwelling structure, and for each unit of a two-dwelling structure; and
- (2) \$ 225.46 for each unit in a multiple-dwelling structure containing three or more units.

Adopted this 23th day of January, 2020

CITY OF ALTOONA

Drafted By: Joshua Clements, City Planner

Mayor Brendan Pratt

Attest: _____
Cindy Bauer, City Clerk

THE CITY *of* **Altoona**

MEMORANDUM

TO: Plan Commission Members

FROM: Joshua Clements AICP, City Planner & Zoning Administrator

SUBJECT: 2020 January 21 Plan Commission Meeting Items

Provided below for your consideration is a summary of the 2020 January 21 Plan Commission Meeting agenda items.

(VII) MISCELLANEOUS BUSINESS AND COMMUNICATIONS

ITEM 1 – Staff Updates (Discussion – No Action)

Parks Plan – Staff time has been dedicated to current planning (permitting and process) and future development area planning. No Updates. Remains top priority project.

Official Map – Comments have been transmitted to WCWRPC for updating the current draft. Considering scheduling an open house in early February for land owners in the area.

Comprehensive Plan – The Annual City Newsletter is currently under development, and long-range planning and comprehensive plan is among the central themes. Staff is planning a short introductory article to kick-off the process, as well as include a Phase I survey instrument. Staff is still exploring acquiring between two and four books to utilize as reading groups to contribute to stakeholder engagement processes.

Housing Task Force – Working with Prof. Kurt Paulsen, UW-Madison, to arrange a presentation/discussion at the next task force meeting. Dates are being discussed for the week of March 16-20.

Transit Development Plan – As of the Transit Commission meeting on January 15, no updates. The consultant is compiling public input and survey data.

Energy & Climate Resolution – No update at this time.

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ITEM 2 – Supplemental Materials (Discussion-No Action)

The American Planning Association (APA) is the primary professional organization comprised of professional community planners. The American Institute of Certified Planners (AICP) is a certification program to serve as one method of verification of a planners' qualifications and commitment to continuing education. Professionals must pass an examination and complete certification maintenance credits on a two-year cycle.

The AICP *Code of Ethics and Professional Conduct* that illustrates the pledge and commitment to uphold high standards of practice, ethics and professional conduct. The code is a guide to the ethical conduct *required* of AICP certified planners. This code was most recently amended in 2016.

Code of Ethics and Professional Conduct:

<https://www.planning.org/media/document/9121296/>

APA Ethics in Planning:

<https://www.planning.org/ethics/>

The Code also serves as a professional aspirational ethic to guide and remind of the role of community planning in advancing community ideals. Ethical considerations underpin many recommendations provided by staff.

This discussion is enclosed to elevate awareness of the Code to Commissioners, as citizen-planners who render recommendations and decisions that influence the lives of all our citizens.

THE CITY of *Altoona*

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(VII) MISCELLANEOUS BUSINESS AND COMMUNICATIONS

ITEM 3 – Staff Service (Discussion-No Action)

The following is provided for your information and disclosure.

As many of you are aware, as of January 1, 2020 City Planner Josh Clements began service as the President of the Wisconsin Chapter of the American Planning Association. Josh was elected to this role in 2017, and has served as President-Elect for calendar years 2018 and 2019. This two-year term as President will be followed by an additional two years as Past President to ensure continuity. APA-WI is a Chapter of the national APA, and has approximately 600 members. APA-WI is an independently chartered 501©3 organization.

In this role, Josh will continue to serve as one of 16 volunteer board members that provide coordinate professional development, networking, and advocacy activities on behalf of its members. The Chapter receives some support and coordination from APA national in this mission.

The duties include, but not limited to:

- Quarterly face-to-face Board Meetings
- Conference Calls as needed
- Service on Board Committees
- Seat on the Chapter President's Council of APA, one of the governing components of the association
- Corporate officer for the association

In a related note, the 2nd Annual “Planners Advocacy Day” in Madison organized by APA-WI is March 10. Organized by the APA-WI VP. for Chapter Affairs with support from the WI League of Municipalities, this event provides a structured opportunity for planners and others to receive structured presentations on current issues being debated in the State Government, APA-WI legislative priorities, and meet with their elected officials and/or staff to discuss.

<https://wisconsin.planning.org/>